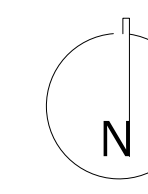
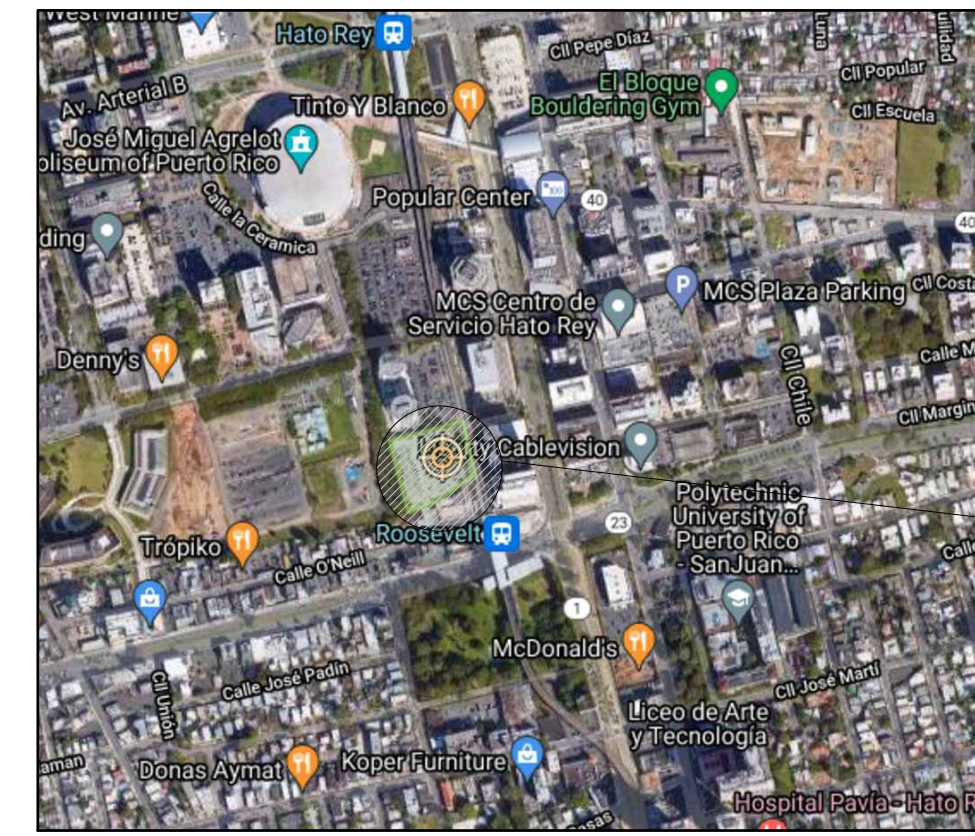


PARKING LOT IMPROVEMENTS (OAT)

FIRST LEVEL; SECOND LEVEL; THIRD LEVEL; FOURTH LEVEL; FIFTH LEVEL & SIXTH LEVEL

OFICINA DE ADMINISTRACION DE LOS TRIBUNALES
EDIFICIO WORLD PLAZA
268 AVE. MUÑOZ RIVERA, SAN JUAN P.R.



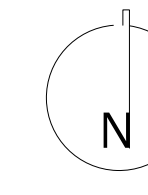
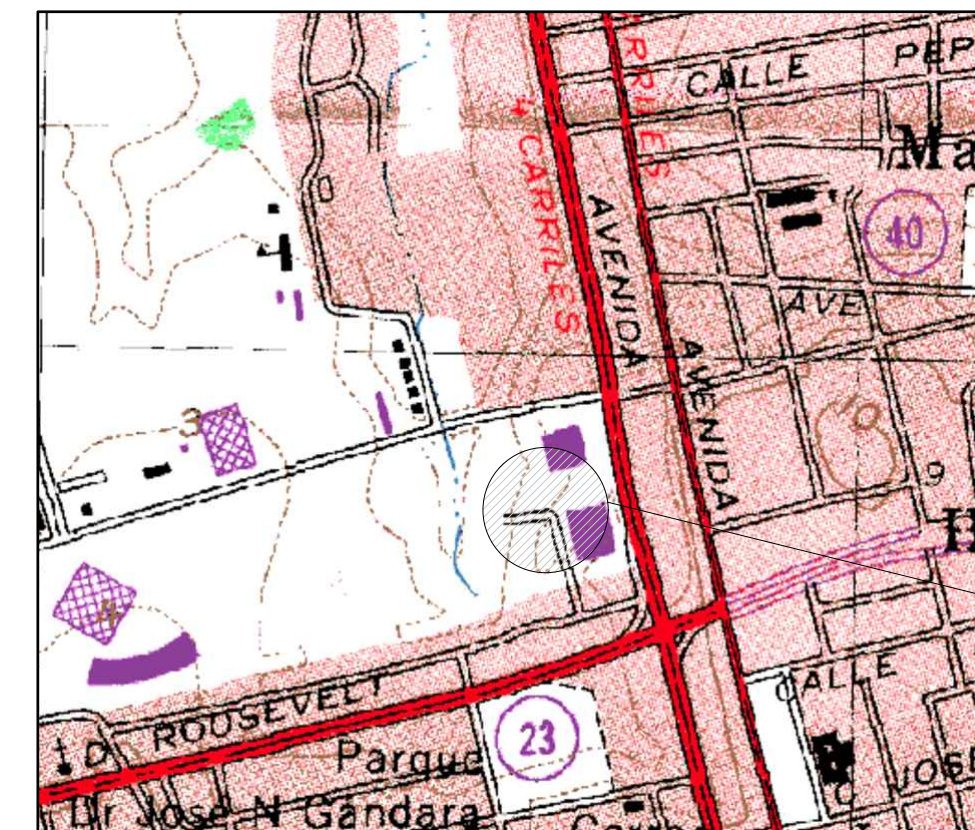
LOCATION

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

Junta de Planificación, Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Catastro: 063-031-639-02
Coordenadas Nad83 x: 2359564.2074, y: 265481.8088
(Lat: 18.42458962, Lon: -66.05884430)

SITE



TOPOGRAPHY

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

Junta de Planificación, Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Clasificación: Oficialización del geodato en proceso, favor de referirse al mapa de calificación vigente.

Clasificación PT: Oficialización del geodato en proceso, favor de referirse al mapa de calificación vigente.

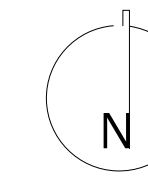
Clasificación PUT: SU 99%, VIAL 1%

Distrito Sobregueto: APE-ZC (Área de Planificación Especial Zona Cárstica)

Zona Histórica:-

Sitio Histórico:-

SAN JUAN, PUERTO RICO



FLOOD MAP

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | MAPA NIVELES DE INUNDACIÓN BASE RECOMENDADOS

Junta de Planificación, Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

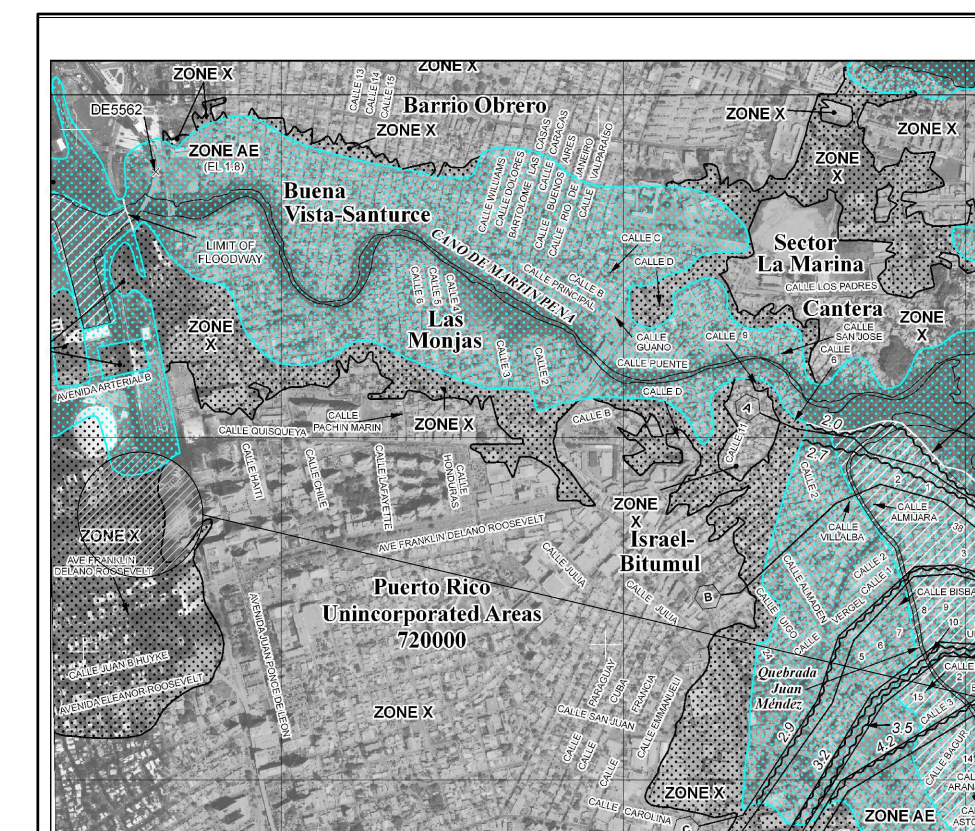
Zona Inundabilidad Advisory:X

Zona Inundabilidad (Firm): X

Panel de Inundabilidad:7200C0365J

Floodway: NO UBICA EN FLOODWAY

Suelo (NRCS): SNS (Soil not surveyed)



SITE

PAGE INDEX

SHEET	CODE	TITLE
01	T-1	TITLE PAGE
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03	A-100	IMPROVEMENTS TO THE 1ST FLOOR
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06	C-101	PARKING AS- BUILT_SECOND LEVEL
07	A-101	IMPROVEMENTS TO THE 2ND FLOOR
08	E-102	EXISTING LIGHTING_SECOND LEVEL
09	E-103	PROPOSED LIGHTING IMPROVEMENTS_SECOND LEVEL
10	C-102	PARKING AS- BUILT_THIRD LEVEL
11	A-102	IMPROVEMENTS TO THE 3RD FLOOR
12	E-104	EXISTING LIGHTING_THIRD LEVEL
13	E-105	PROPOSED LIGHTING IMPROVEMENTS_THIRD LEVEL
14	C-103	PARKING AS- BUILT_FOURTH LEVEL
15	A-103	IMPROVEMENTS TO THE 4TH FLOOR
16	E-106	EXISTING LIGHTING_FOURTH LEVEL
17	E-107	PROPOSED LIGHTING IMPROVEMENTS_FOURTH LEVEL
18	C-104	PARKING AS- BUILT_FIFTH LEVEL
19	A-104	IMPROVEMENTS TO THE 5TH FLOOR
20	E-108	EXISTING LIGHTING_FIFTH LEVEL
21	E-109	PROPOSED LIGHTING IMPROVEMENTS_FIFTH LEVEL
22	C-105	PARKING AS- BUILT_SIXTH LEVEL
23	A-105	IMPROVEMENTS TO THE 6TH FLOOR
24	A-106	CANOPY EXTERIOR STAIRS_SIXTH LEVEL
25	E-110	EXISTING LIGHTING_SIXTH LEVEL- VOID
26	E-111	PROPOSED LIGHTING IMPROVEMENTS_SIXTH LEVEL- VOID
27	S-100	STRUCTURAL DETAILS
28	C-500	TECHNICAL SPECIFICATIONS
29	C-501	TECHNICAL SPECIFICATIONS
30	C-502	TECHNICAL SPECIFICATIONS

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:
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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO MADE, DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BODIES OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS "THE LAW FOR INVESTMENT BY THE UNITED STATES INDUSTRY" AND WITH THE LAW NO. 319 OF MAY 15, 1998, AS AMENDED, ACT NO. 86 OF JULY 1978, AS AMENDED, AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCRIMINATORY ACTION BY THE STATE.



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SIGNATURE



FILE

Dwg Name: ESTACIONAMIENTO WORLD PLAZA.GRD.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP.PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print:
Sep 27, 2024

TITLE

TITLE PAGE

DRAWING NO.

T-1

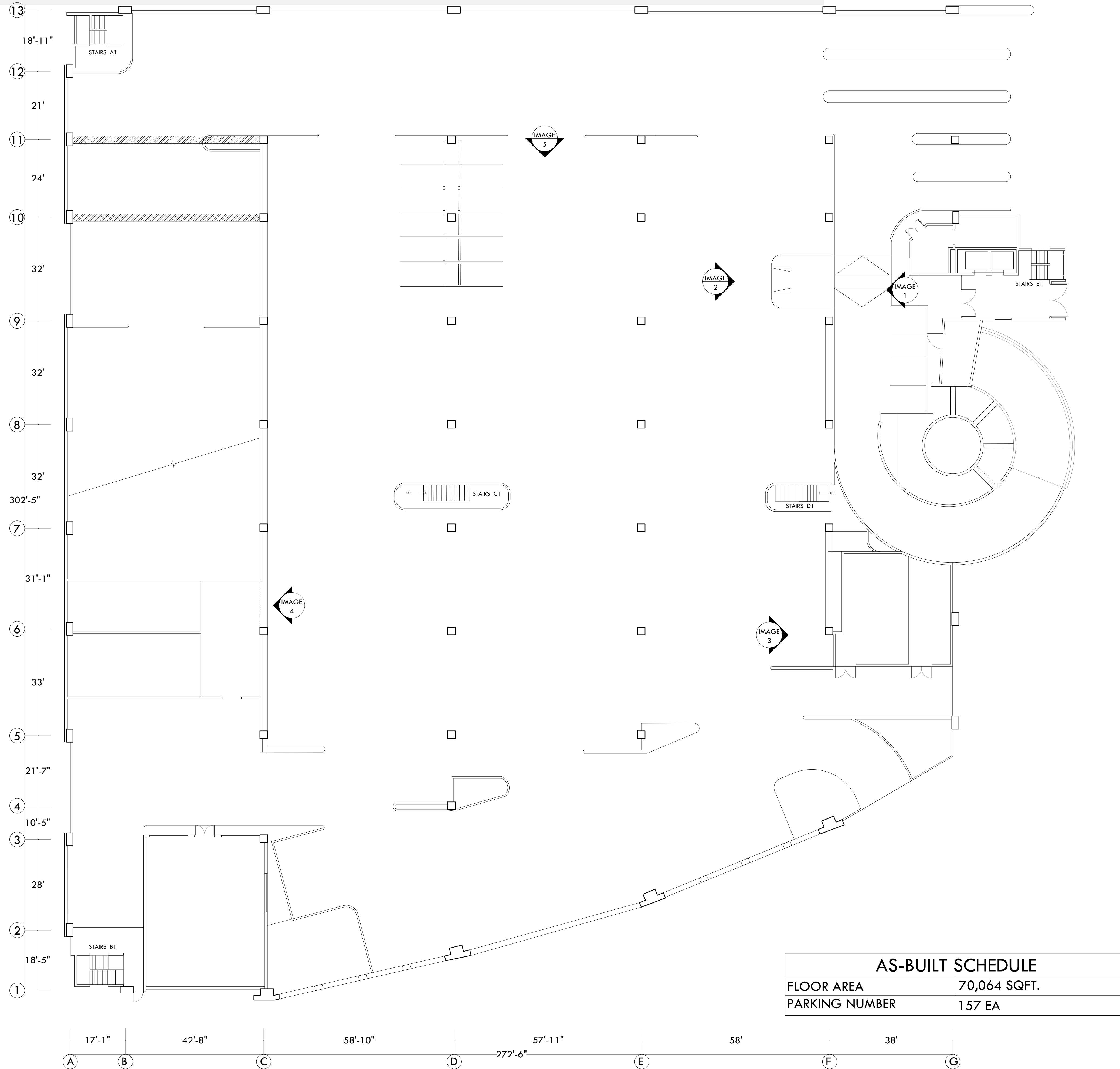
EXISTING AND GENERAL CONDITIONS

1. THE CONTRACTOR WILL VISIT THE WORKPLACE TO VERIFY THE EXISTING MEASURES AND CONDITIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE WAYS AND METHODS OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION WITH THE PHYSICAL CONDITION OF THE BUILDING TO ENSURE THEY ARE CORRECT.
4. IT IS THE DIRECT RESPONSIBILITY TO MAKE OAT PERSONNEL KNOW OF ANY DISCREPANCY IN EXISTING CONDITIONS BEFORE AWARDED THE PROJECT AND CONSULT OAT WHO CONTACT ARCHITECT OR ENGINEER IN RECORD.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR ALL MATERIAL, LABOR AND ANY EQUIPMENT NECESSARY FOR THE EXECUTION OF THE WORKS.
6. THE SAFETY OF THE SITE, WORKERS AND OAT PERSONNEL IS THE RESPONSIBILITY OF THE CONTRACTOR WHILE THEY ARE EXECUTING THE PROJECT AND SHALL BE RESPONSIBLE FOR PROTECTING ANY SERVICES THAT THEY FIND IN THE AREA UNDER CONSTRUCTION, NOT LIMITED TO PLUMBING, ELECTRICAL, GAS AND POTABLE WATER SERVICES. AND SANITARY, TELEPHONY AND CABLE SERVICE THAT MAY BE AFFECTED BEFORE AND DURING THE IMPROVEMENT WORK.
7. CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOAD, TRANSPORT

AND DISPOSE OF ALL DEBRIS GENERATED AS PART OF THE WORKS EXECUTED AS PART OF THE SCOPE OF WORK. ALL MATERIAL RESULTING FROM THE WORK MUST BE REMOVED SAFELY OUT OF THE PROJECT. STORAGE OF DEBRIS WILL NOT BE ALLOWED IN THE BUILDING FOR MORE THAN THREE CONSECUTIVE DAYS.

9. ANY WORK TO BE PERFORMED MUST COMPLY WITH ACCESSIBILITY STANDARDS AND IN COMPLIANCE WITH THE "2010 ADA STANDARD FOR ACCESSIBLE DESIGN AND THE FEDERAL UNIFORM ACCESSIBILITY STANDARD".
10. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE 2028 IBC, 2028 IEBC AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE, STANDARDS, REGULATIONS AND LAWS.
11. LIQUID DAMAGES FOR DELAY WILL BE DISCUSSED AT THE TIME OF PRE-PURCHASE
12. THE CONTRACTOR SHALL BE RESPONSIBLE, IF THE PROJECT IS AWARDED, TO HAVE THE CORRESPONDING INSURANCE, WHICH GUARANTEES THE COVERAGE OF THE POSSIBLE DAMAGES CAUSED BY THEM IN THE PROJECT.
13. THE SPECIFICATIONS TO BE USED ARE THOSE THAT APPLY ACCORDING TO THE WORKS REQUIRED IN THE LAST SECTION OF THIS SET OF PLANS.
14. THE MATERIALS TO BE USED MUST BE 100% FREE OF ASBESTOS AND LEAD.
15. THESE DRAWINGS ARE CONSIDERED AS THE FINALS. CATEGORY: "ISSUES FOR CONSTRUCTION"

FIRST LEVEL PARKING AS BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT

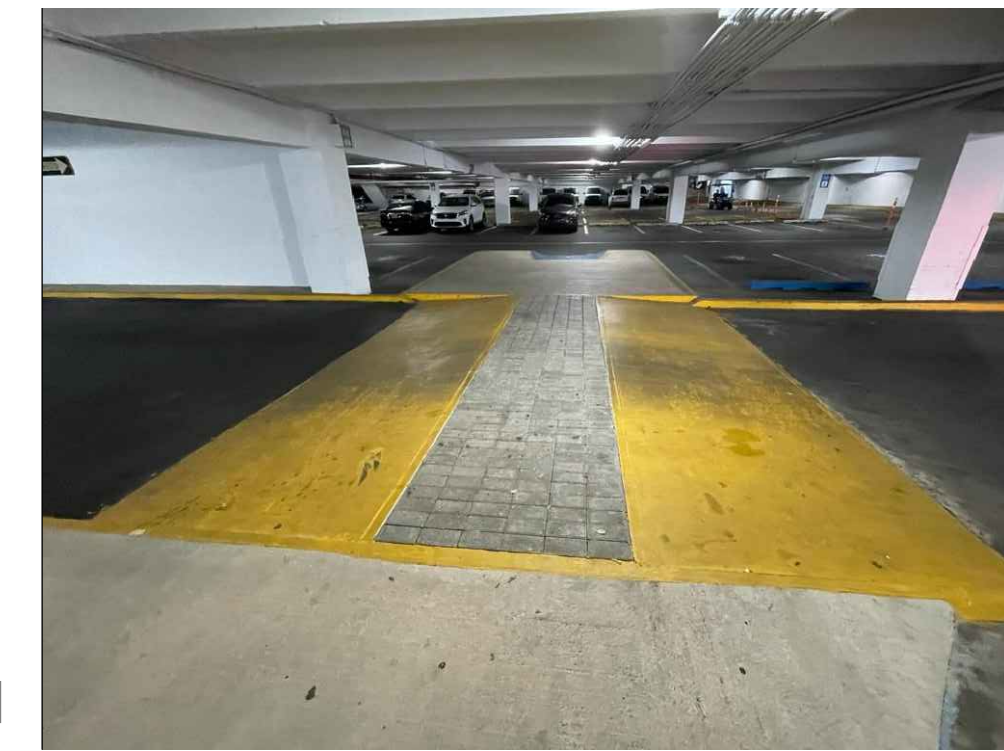


PARKING AS- BUILT_ FIRST LEVEL

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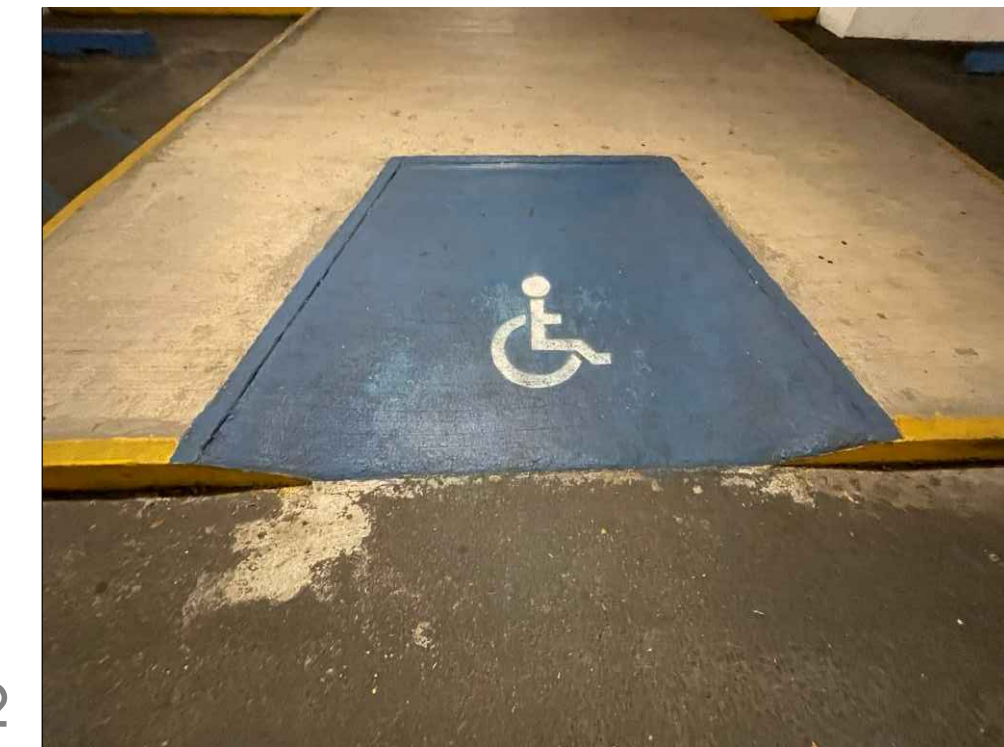
PHOTO DOCUMENTATION

IMAGE 1



EXISTING TYPICAL PEDESTRIAN CROSSING RAMP

IMAGE 2



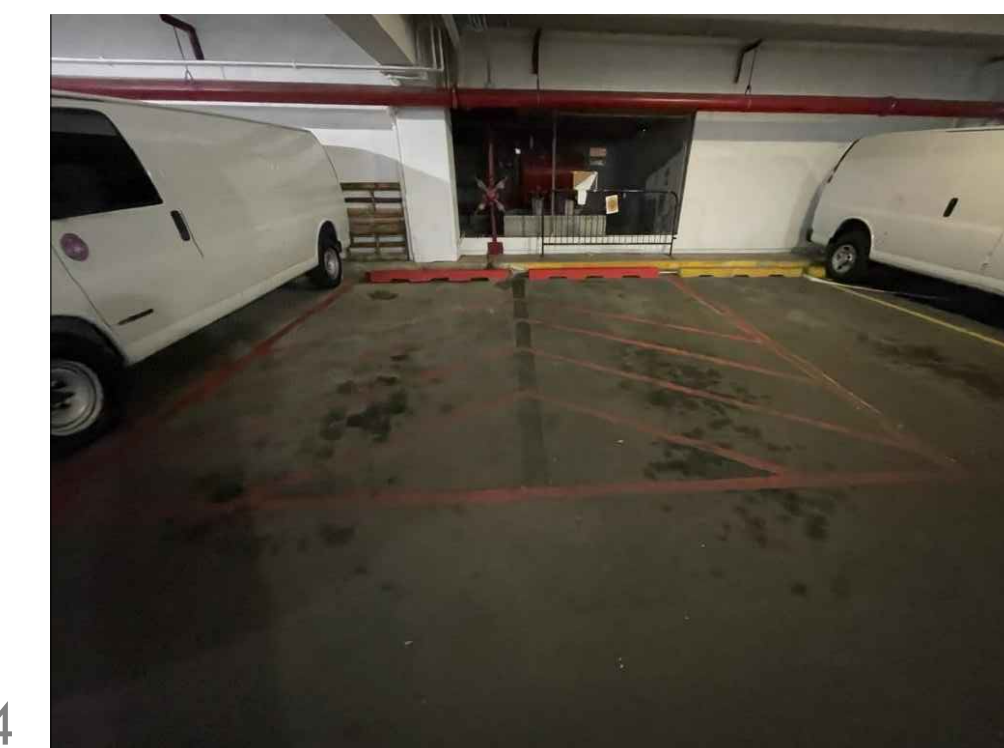
EXISTING TYPICAL ADA RAMP

IMAGE 3



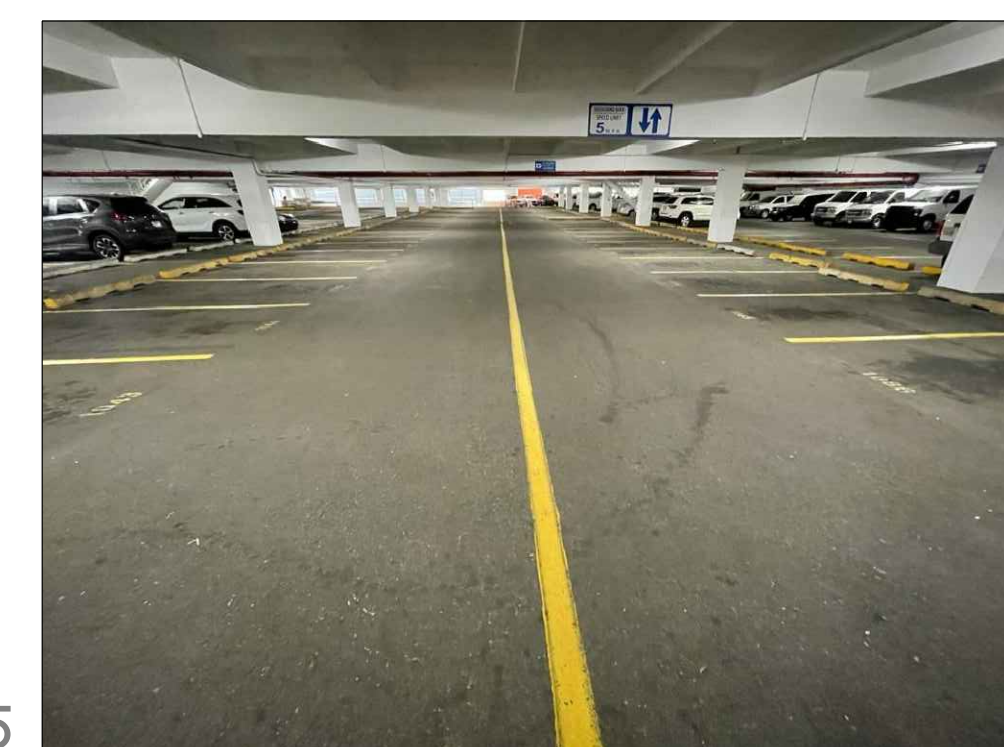
EXISTING FIRE CONTROLS SYSTEMS

IMAGE 4



EXISTING EMERGENCY PARKING AREA

IMAGE 5



EXISTING TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

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PODER JUDICIAL

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REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

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CERTIFICATION

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SIGNATURE



FILE

Dwg Name: ESTACIONAMIENTO WORLD PLAZA-GROUNDING
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng.-W. Melendez Rivera, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

PARKING AS-BUILT-FIRST LEVEL

DRAWING NO.

C-100

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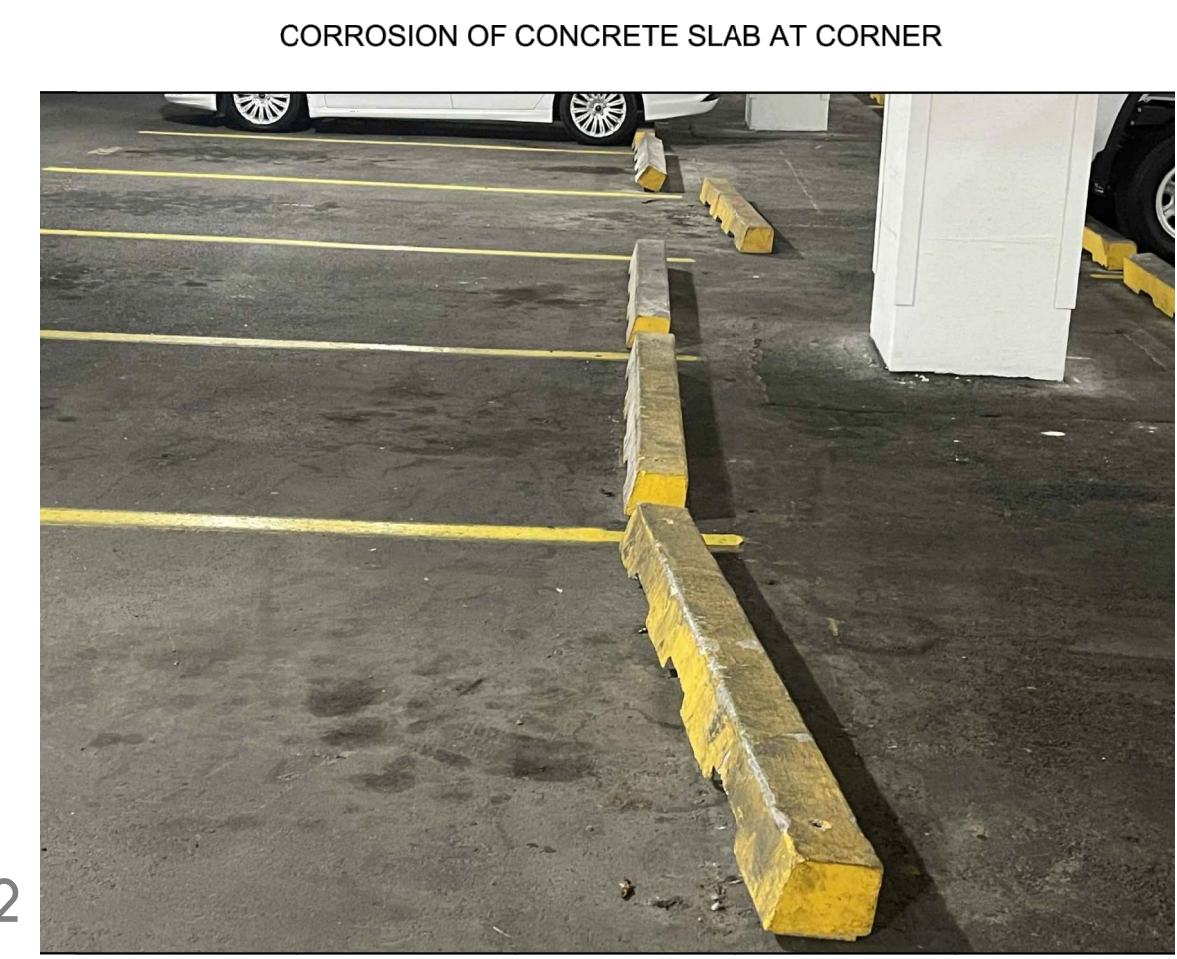
2/30

FIRST LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT

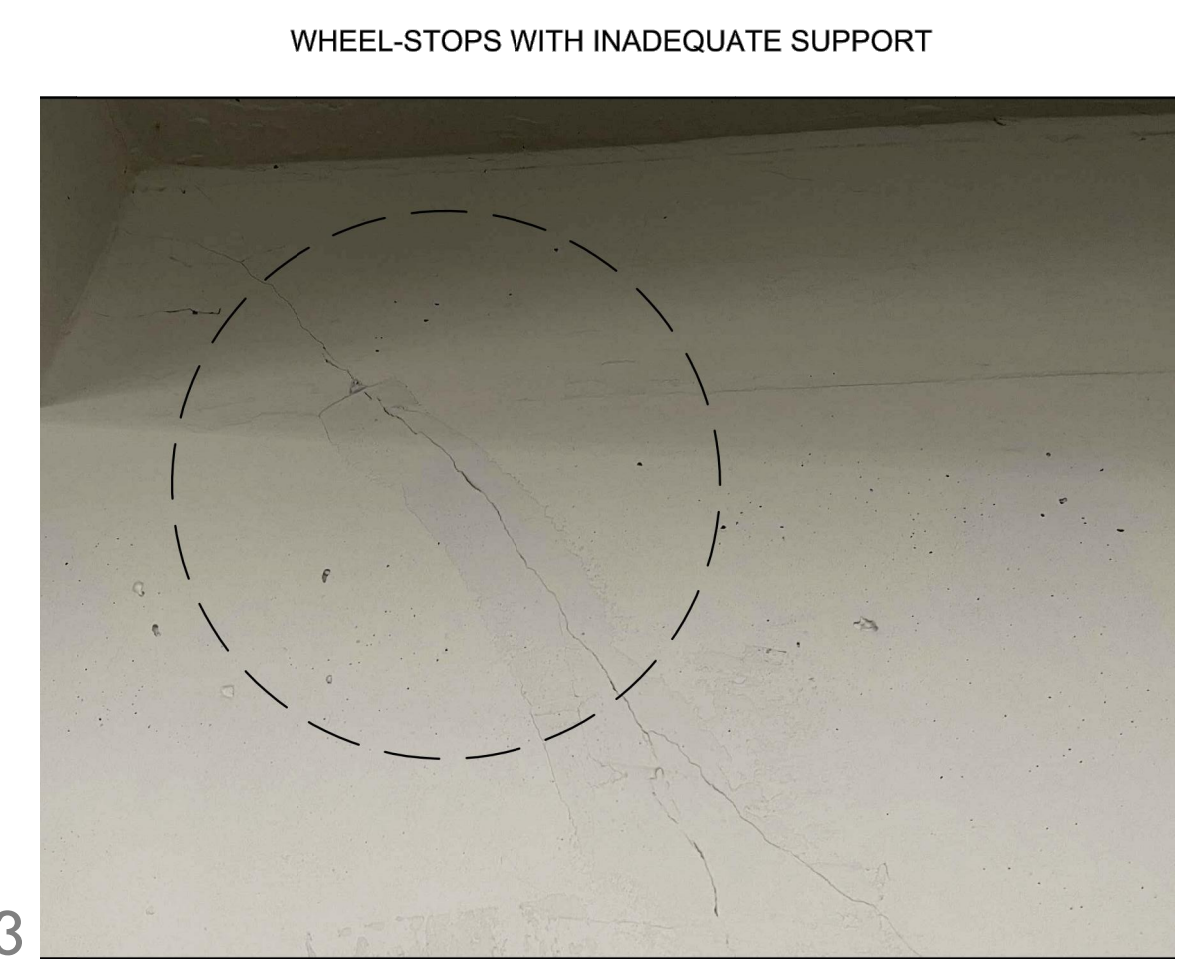
PHOTO DOCUMENTATION



DAMAGE 1



DAMAGE 2



DAMAGE 3

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

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REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

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SIGNATURE



FILE

Dwg Name: ESTADOCOMMENTO WORLD PLAZA-GROUNDING
 Drawn by: INGENIUM PROFESSIONAL GROUP_PSC
 Revised by: Eng.-W. Melendez Rivera, #16383
 Plot Scale:
 Progress Print: Sep 27, 2024

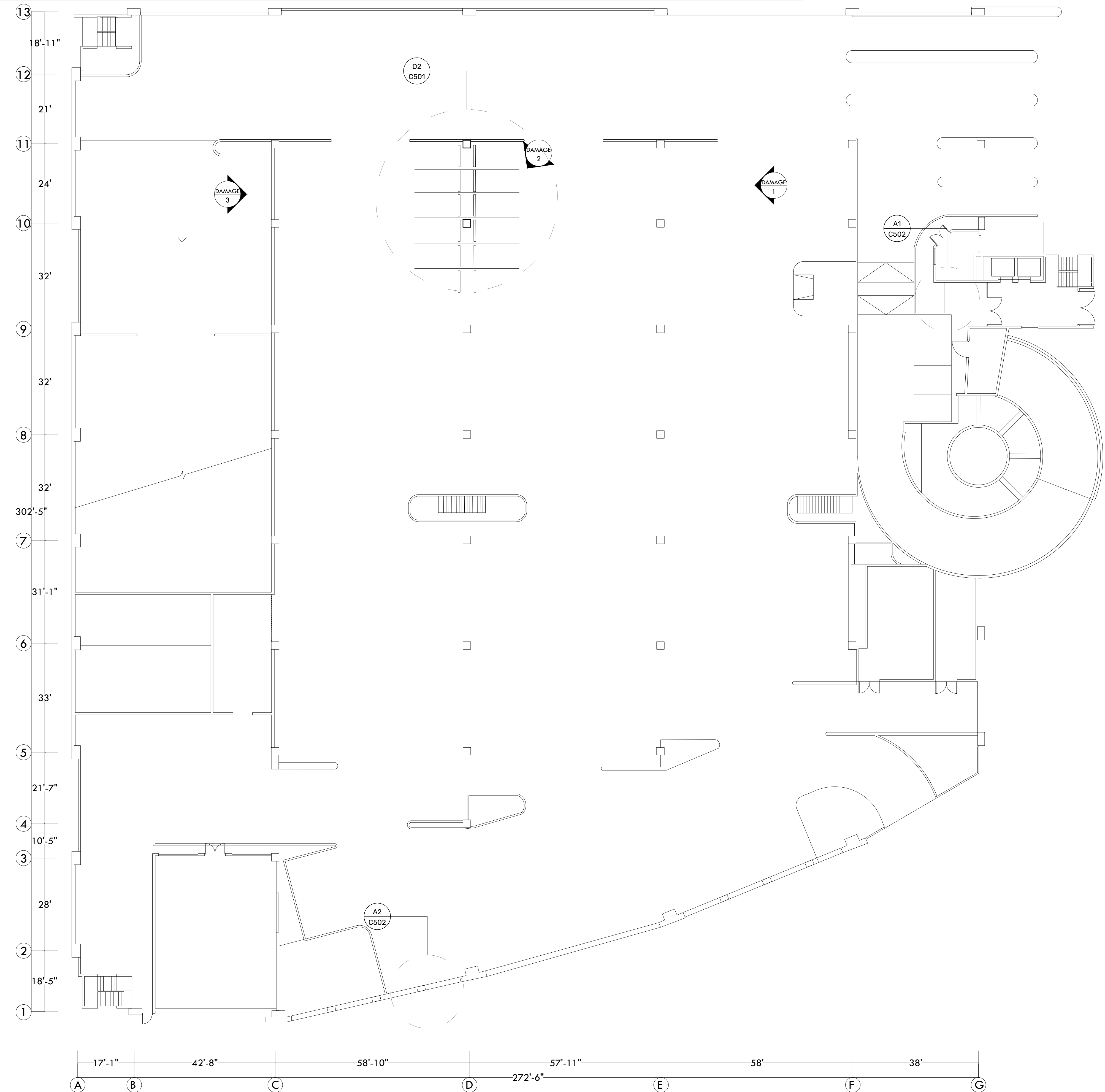
TITLE

IMPROVEMENTS TO THE 1ST FLOOR

DRAWING NO.

A-100

PAGE: 3/30



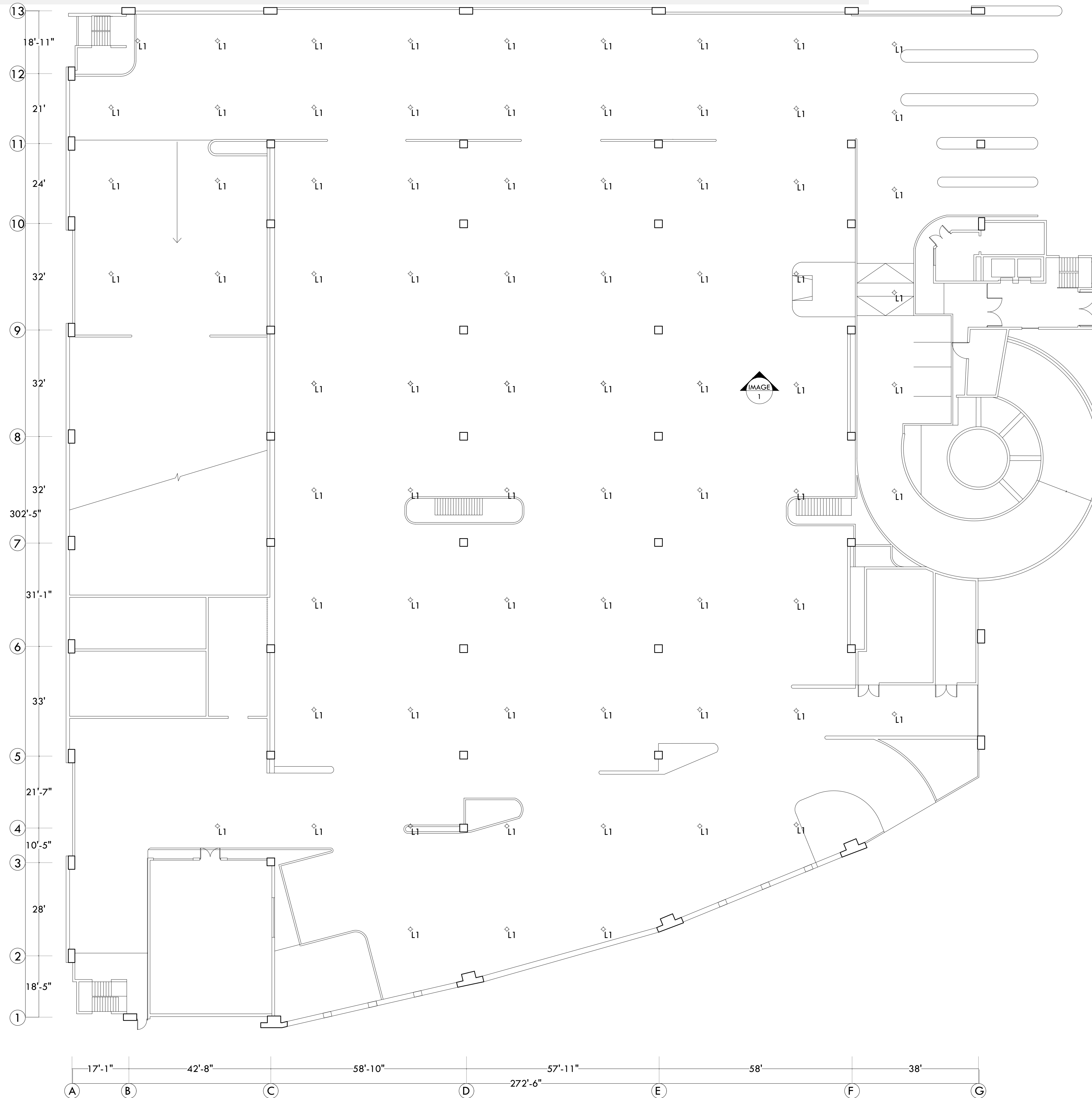
PROPOSED IMPROVEMENTS_FIRST LEVEL

SCALE: 1/16" = 1' - 0"

PROPOSED IMPROVEMENTS	
GENERAL PAINTING	SEE DETAIL 2 ON SHEET C501
CRACKS REPAIRS ON WALLS	50 SQFT. SEE DETAIL 2 ON SHEET C502
REPLACEMENT OF EXPANSION JOINTS	1.5 LFT. SEE DETAIL 1 ON SHEET C502

NOTA: WHERE THE WHEEL STOPPERS ARE OUT OF PLACE, THEY SHOULD BE BROUGHT TO PLACE AND ANCHORED TO THE GROUND BEFORE PAINTING.

FIRST LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	73	EXISTING LIGHTING

ADDRESS
268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

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PODER JUDICIAL

PHOTOGRAPHIC DOCUMENTATION

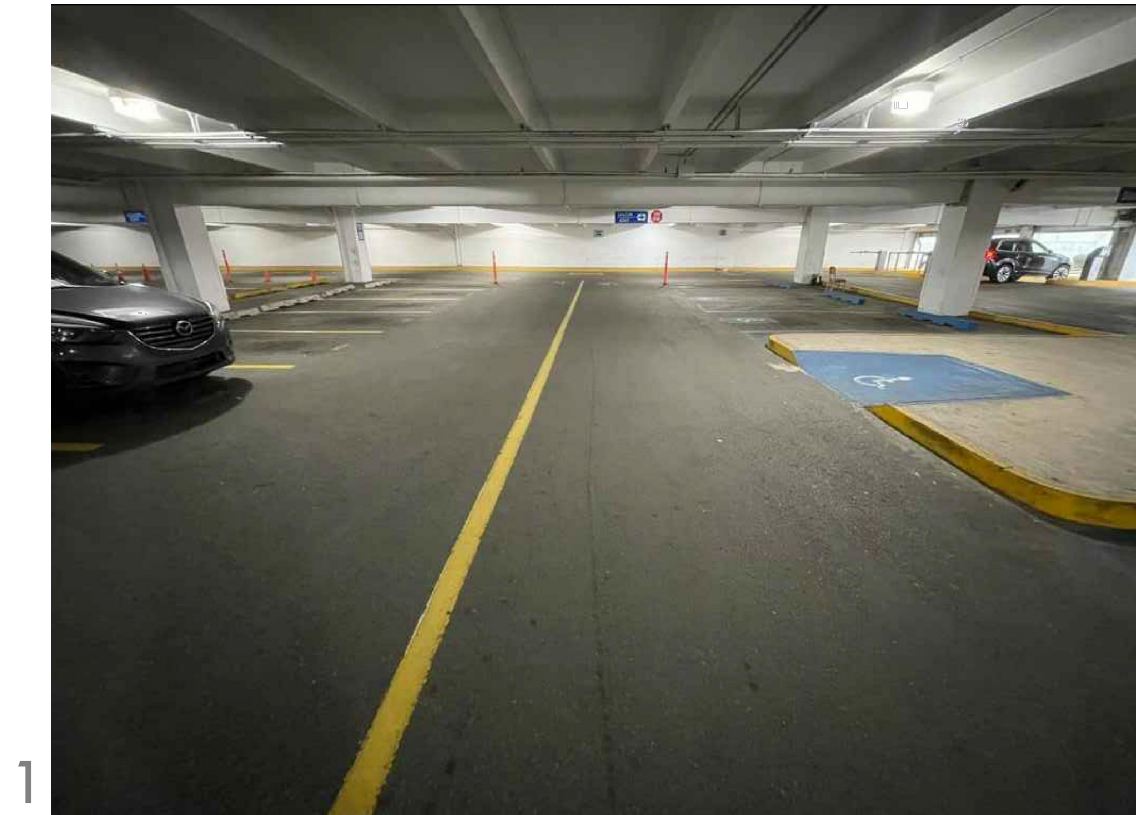


IMAGE 1

EXISTING LIGHTING

REGISTER NO.
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS
REV. DATE DESCRIPTION BY CHK'D

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GENERAL NOTES

1. LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
2. THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
3. IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
4. OUTDOOR SPOTLIGHT IP-66.
5. THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMMATICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.



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SIGNATURE



FILE

Dwg Name: ESPACIAMENTO WORLD PLAZA GROUNDING
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

EXISTING LIGHTING- FIRST LEVEL

DRAWING NO.

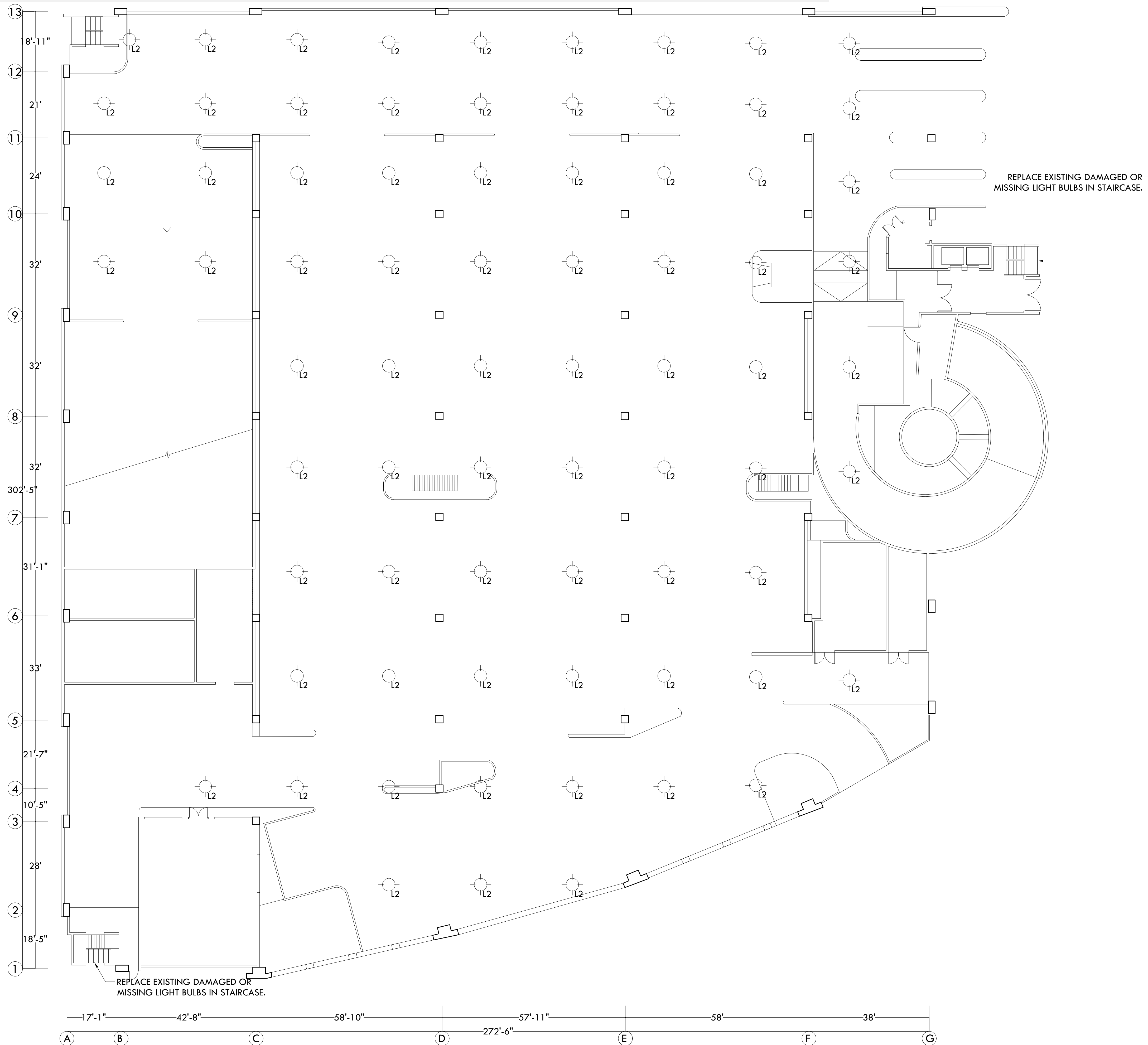
E-100

PAGE: 4/30

EXISTING LIGHTING_ FIRST LEVEL

SCALE: 1/16" = 1' - 0"

FIRST LEVEL PROPOSED LIGHTING AND RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	73	SYLVANIA LUMINAIRES, ValueLED Garage, IP65-CCT 4000K, 10" diam./round, / 40 Watts / COLOR WHITE

LIGHTING SCHEDULE

SYLVANIA Luminaires
ValueLED™ Garage

Application
The Garage luminaires are environmentally preferable LED alternatives to traditional HID luminaires, offering up to 81% in energy savings. Ideal in place of traditional luminaires, or as new installations, the ValueLED Garage series is offered in three multi-lumen packages for use in garages, canopies, and mid bay general lighting.

Benefits and Features

- IP65 rated body with polycarbonate lens offers easy mounting, reducing installation and maintenance costs
- High color rendering and DLC Premium lighting ensure energy efficiency and provide uniform and even lighting
- Up to 141 LPW
- CCT Selectable (3000K, 4000K, or 5000K) enabled through switch located inside fixture
- CR = 80
- Offered in 25, 40, and 55 watts
- Type V distribution
- Energy savings up to 88%

Electrical

- 120-277VAC
- Power Factor >90%
- THD <20%
- Continuous 0-10V dimmable down to 10%
- Constant current LED driver with 10kV surge suppression

Rated Life

- 125,000 hours (L70) @25°C

Warranty

- 5-year
- NLB Trusted Warranty Program

Ambient Operating Range

- 22°F to +113°F (-30°C to +45°C)

Certifications and Listings

- cULus listed to UL1598 standards, wet location
- RoHS
- FCC/ICES
- DLC 5.1 Premium

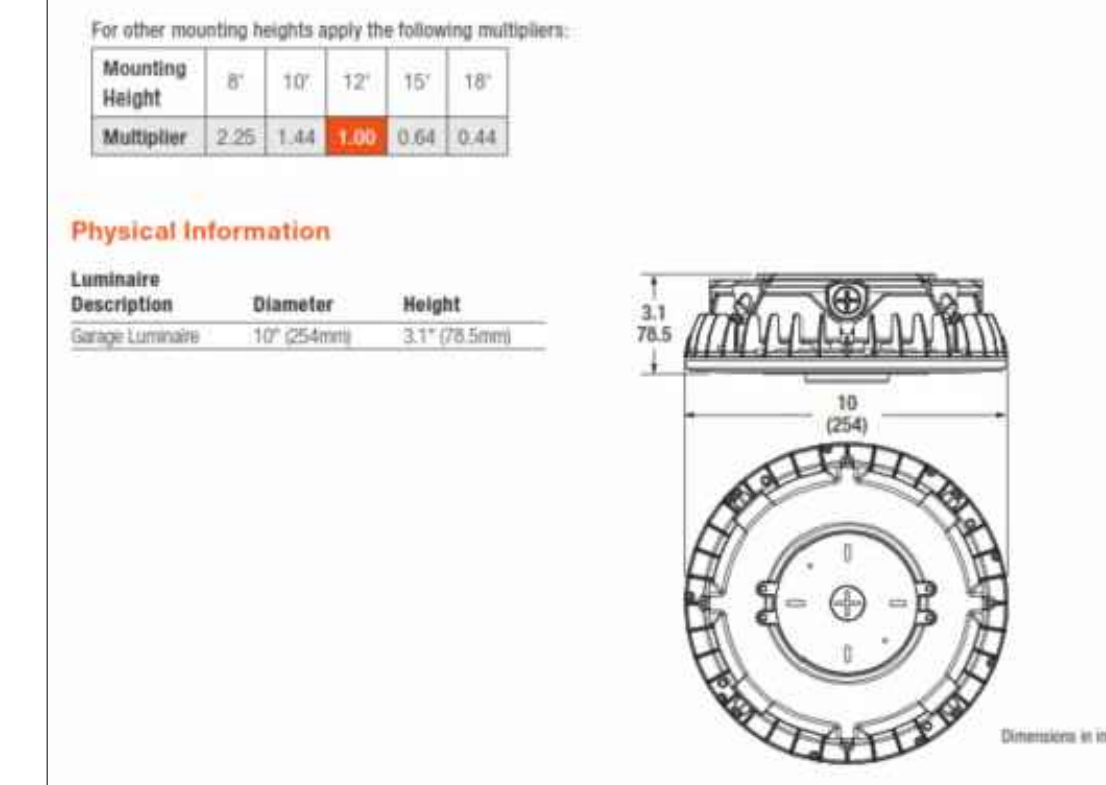
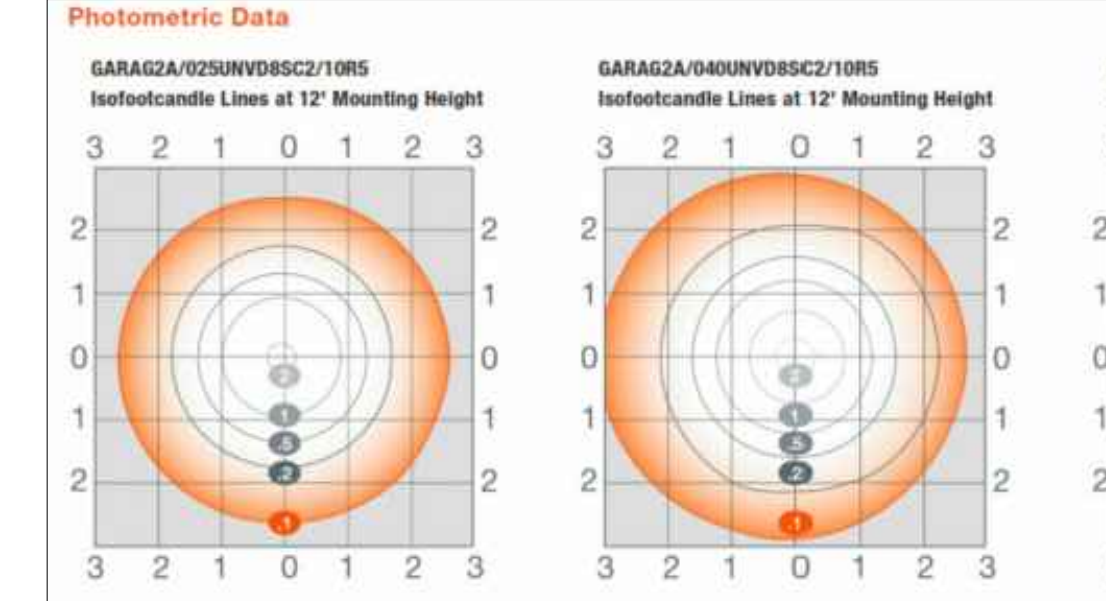
Installation

- Easy installation directly to 3/4" pipe or back plate to junction box

Wattage Comparison

Source	Wattage	LED System Wattage	Energy Savings
100W HPS	100	25	75%
100W MH	100	25	75%
100W CFL	100	25	75%
100W LED	100	25	75%
150W HPS	150	38	74%
150W MH	150	38	74%
150W CFL	150	38	74%
150W LED	150	38	74%
200W HPS	200	51	74%
200W MH	200	51	74%
200W CFL	200	51	74%
200W LED	200	51	74%

PRODUCT DESCRIPTION



ADDRESS
268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER
PODER JUDICIAL

REGISTER NO.
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO MADE, DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS, OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 16-2004, AS AMENDED, AND WITH THE (LAW NO. 318 OF MAY 15, 1938, AS AMENDED; ACT NO. 36 OF JAN. 6, 1978, AS AMENDED) AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE COURT.

IPG INGENIUM
PROFESSIONAL GROUP PSC

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Plaza, San Juan, PR 00738
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Email: info@ingenium.group

SIGNATURE

FILE

Dwg Name: ESTADODOMINIO WORLD PLAZA GROUNDING.dwg

Drawn by: INGENIUM PROFESSIONAL GROUP_PSC

Revised by: Eng. W. Melendez Rivas, #16383

Plot Scale:

Progress Print: Sep 27, 2024

TITLE

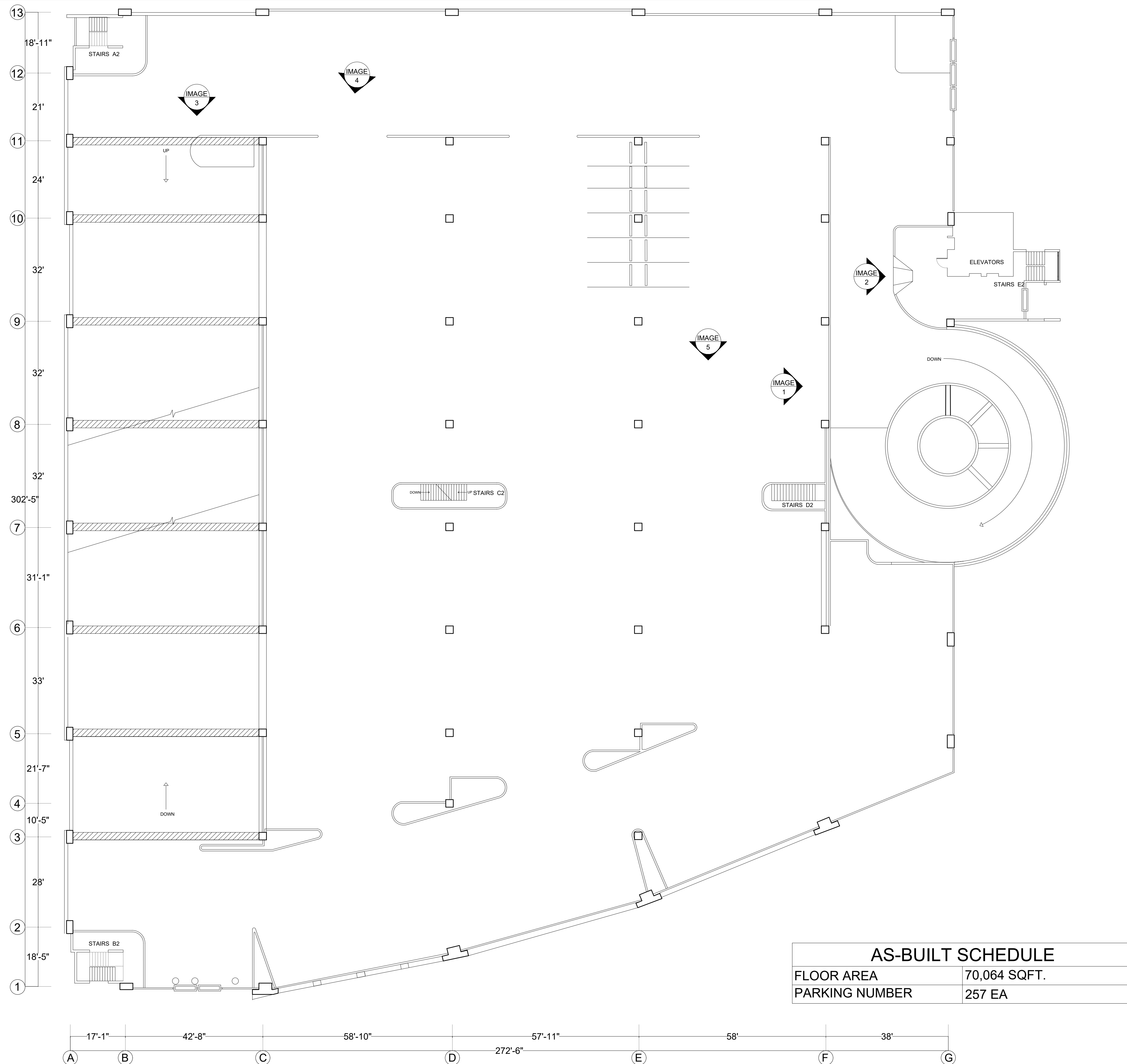
PROPOSED LIGHTING IMPROVEMENTS - FIRST LEVEL

DRAWING NO.
E-101

PAGE: 5/30

PROPOSED LIGHTING IMPROVEMENTS_FIRST LEVEL
SCALE: 1/16" = 1' - 0"

SECOND LEVEL PARKING AS-BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT



AS-BUILT SCHEDULE	
FLOOR AREA	70,064 SQFT.
PARKING NUMBER	257 EA

PARKING AS- BUILT_ SECOND LEVEL

SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION

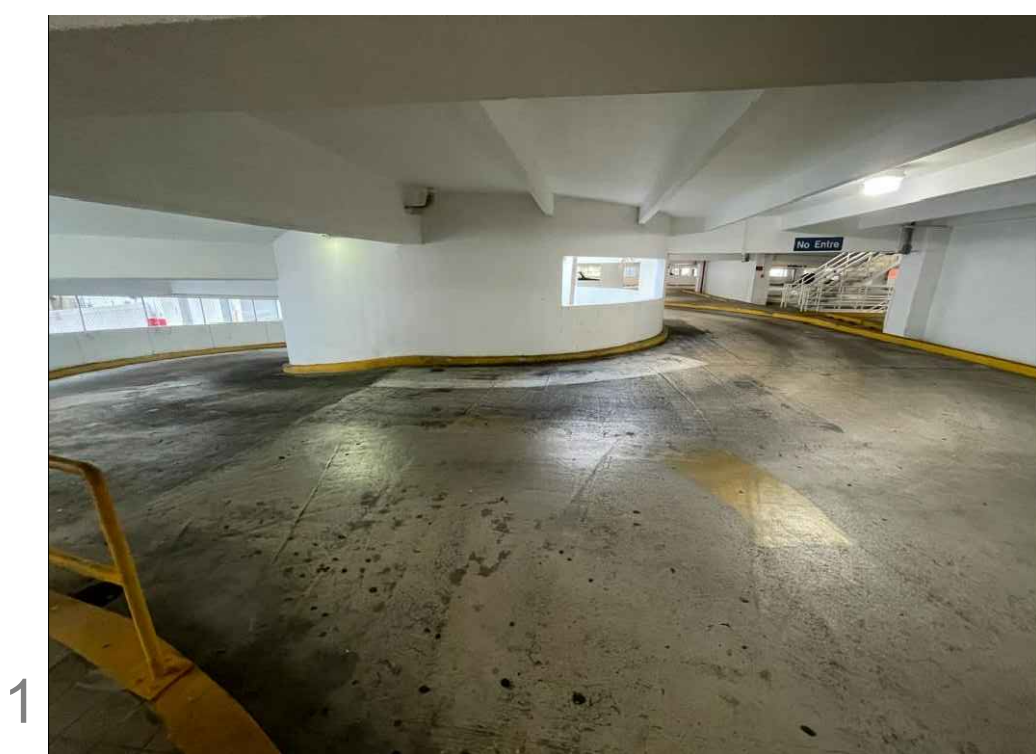


IMAGE 1

EXISTING TYPICAL PARKING AREA

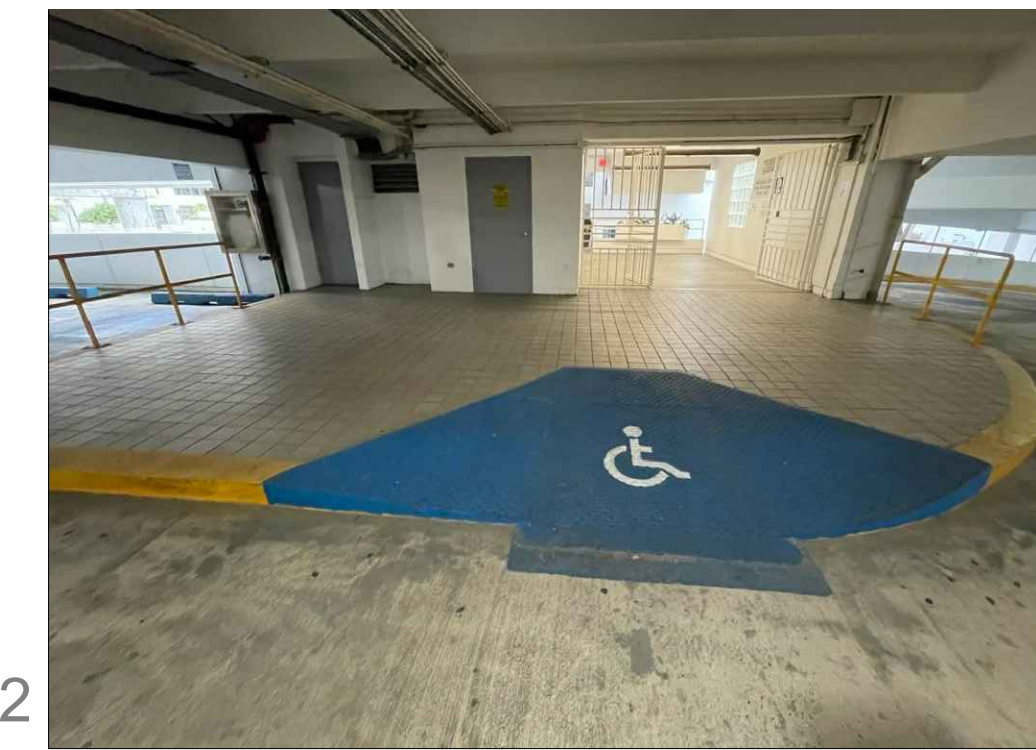


IMAGE 2

EXISTING TYPICAL ADA RAMP

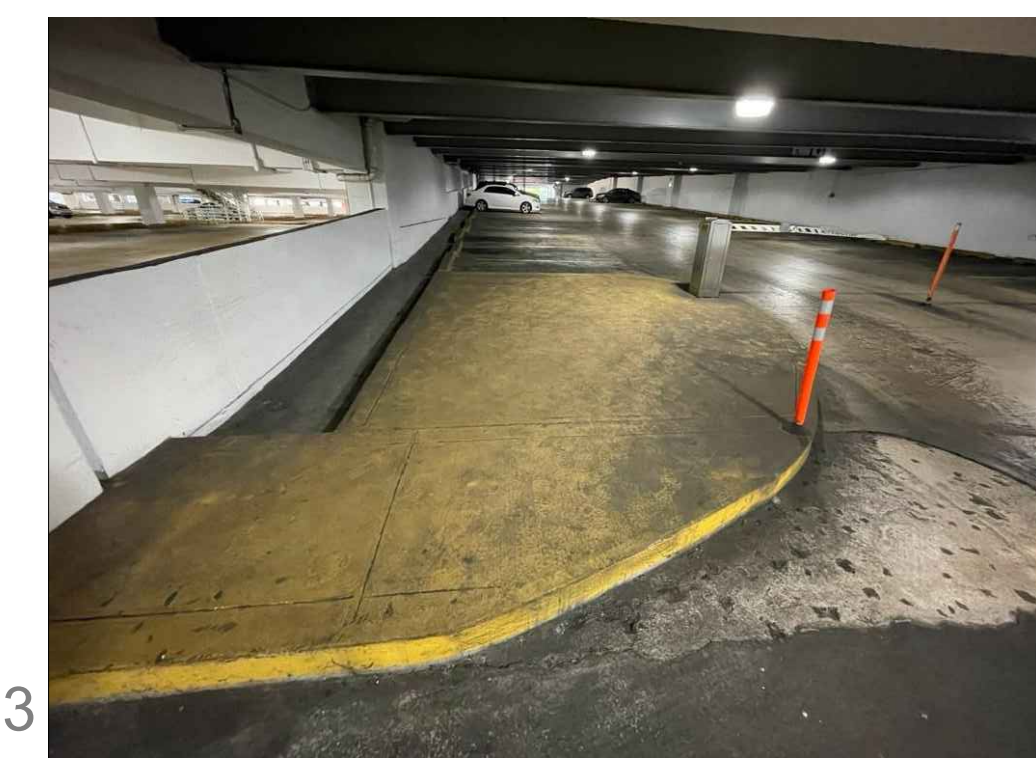


IMAGE 3

EXISTING TYPICAL CURB

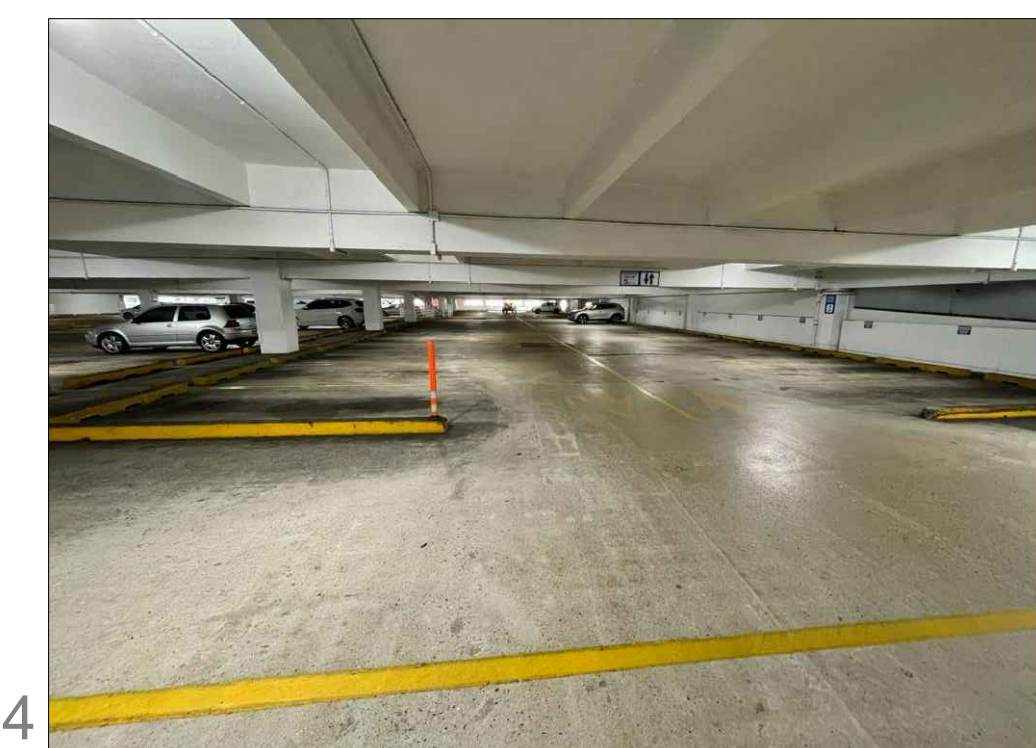


IMAGE 4

EXISTING TYPICAL PARKING AREA

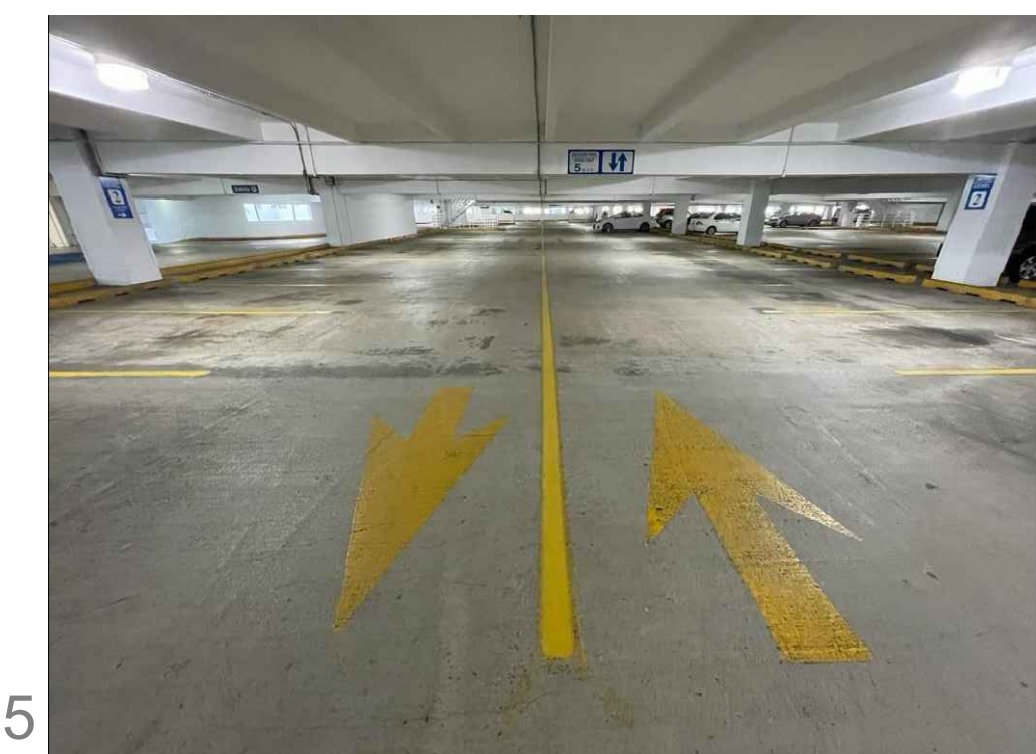


IMAGE 5

EXISTING TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

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CERTIFICATION

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Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: WEL204g
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Meléndez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

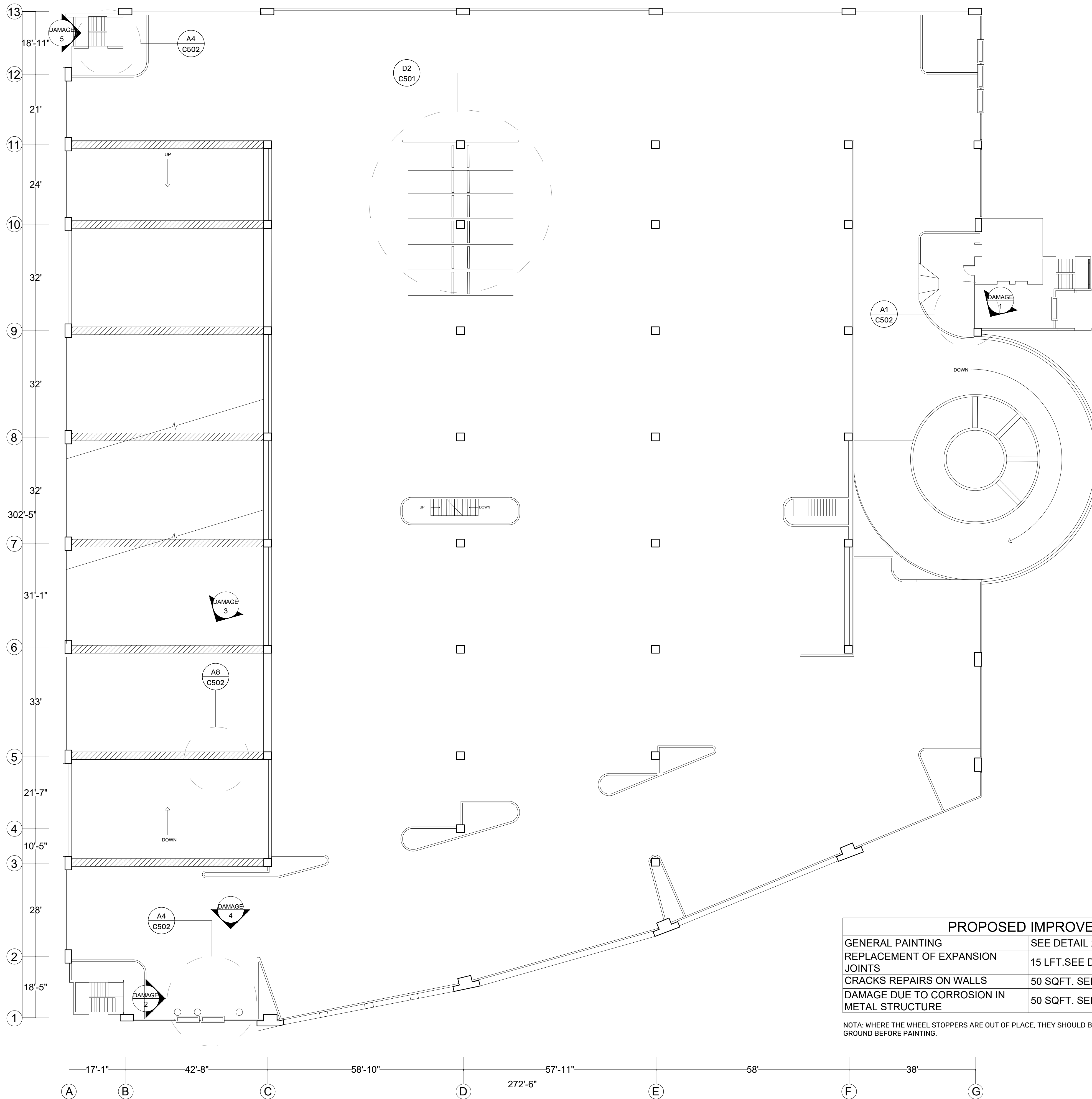
TITLE

PARKING AS-BUILT - SECOND LEVEL

DRAWING NO.

C-101

SECOND LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



PROPOSED IMPROVEMENTS	
GENERAL PAINTING	SEE DETAIL 2 ON SHEET C501
REPLACEMENT OF EXPANSION JOINTS	15 LFT. SEE DETAIL 1 ON SHEET C502
CRACKS REPAIRS ON WALLS	50 SQFT. SEE DETAIL 2 ON SHEET C502
DAMAGE DUE TO CORROSION IN METAL STRUCTURE	50 SQFT. SEE DETAIL 4 ON SHEET C502

NOTE: WHERE THE WHEEL STOPPERS ARE OUT OF PLACE, THEY SHOULD BE BROUGHT TO PLACE AND ANCHORED TO THE GROUND BEFORE PAINTING.

PROPOSED IMPROVEMENTS_SECOND LEVEL

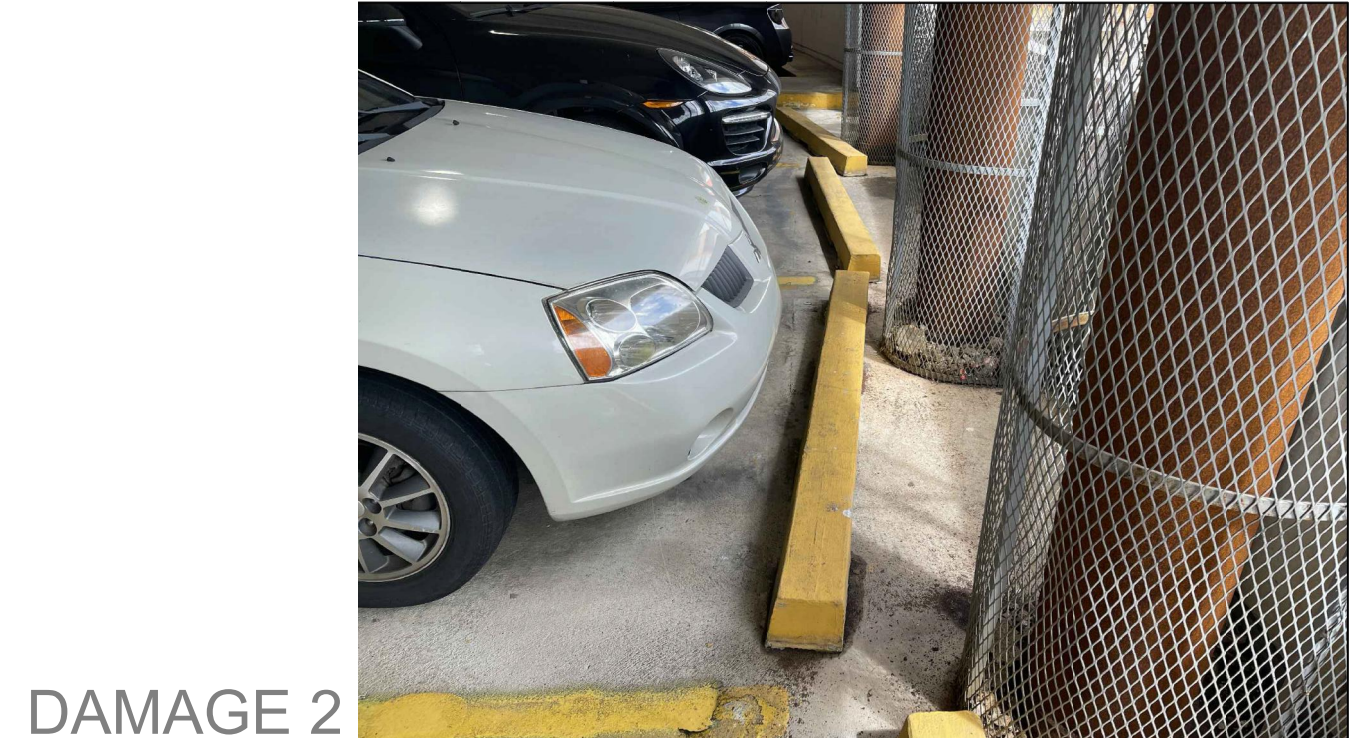
SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION



DAMAGE 1

EXPANSION JOINT WITH INADEQUATE SPACE



DAMAGE 2

WHEEL-STOPS WITH INADEQUATE SUPPORT



DAMAGE 3

DIAGONAL CRACK OF POST-TENSIONED BEAMS AT RAMP



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

CORROSION IN BEAM OF STAIR AT SOUTH-WEST CORNER

ADDRESS

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SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

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CERTIFICATION

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SIGNATURE



FILE

Dwg Name: IMEL204g
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Meléndez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

IMPROVEMENTS TO THE 2ND FLOOR

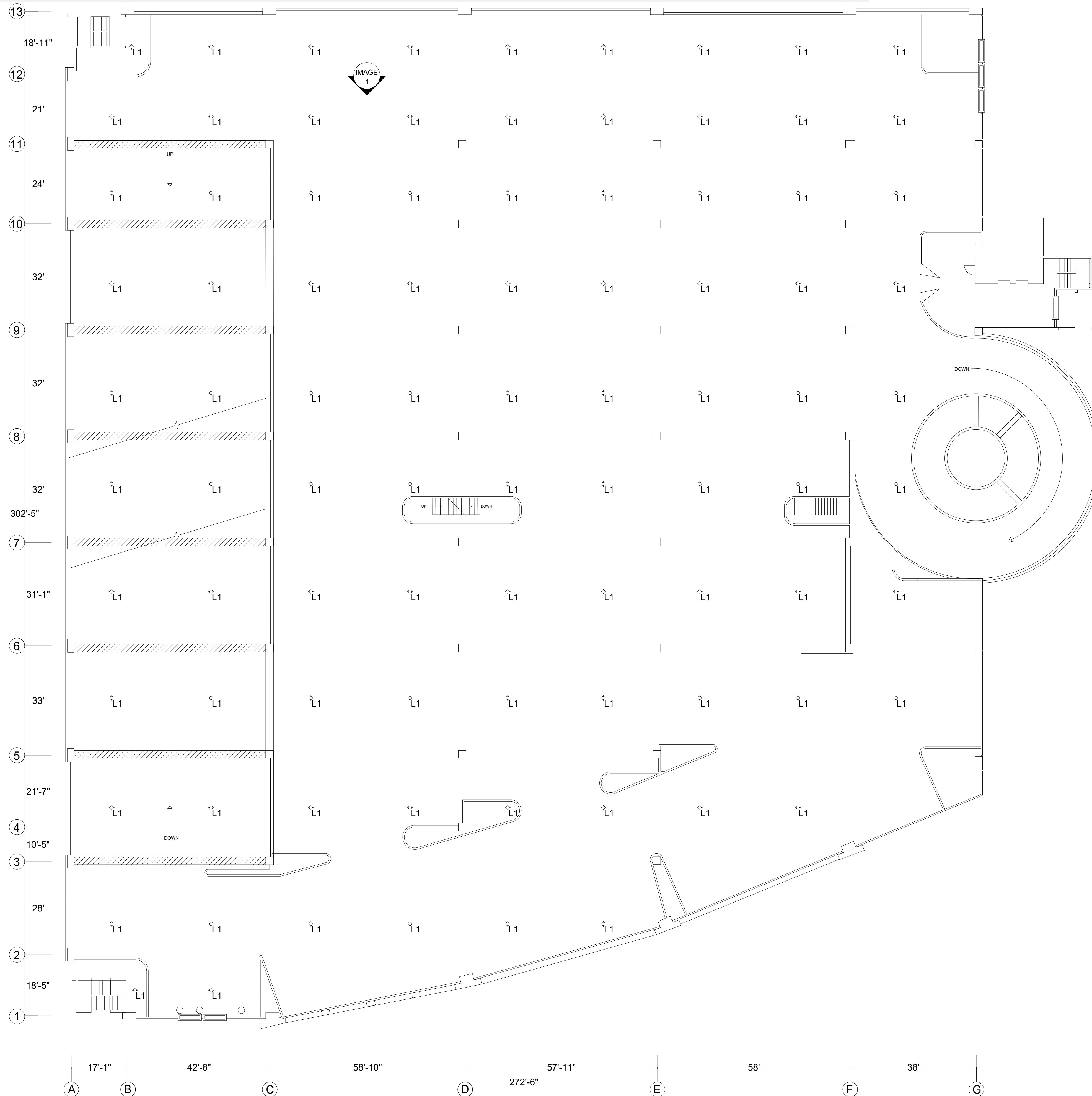
DRAWING NO.

A-101

PAGE:

7/30

SECOND LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	88	EXISTING LIGHTING

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

P O D E R J U D I C I A L

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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Plaza, San Juan, PR 00738
Tel. (787) 918-5890 / 5891
Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: WEL24g
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Meléndez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

EXISTING LIGHTING-SECOND LEVEL

DRAWING NO.

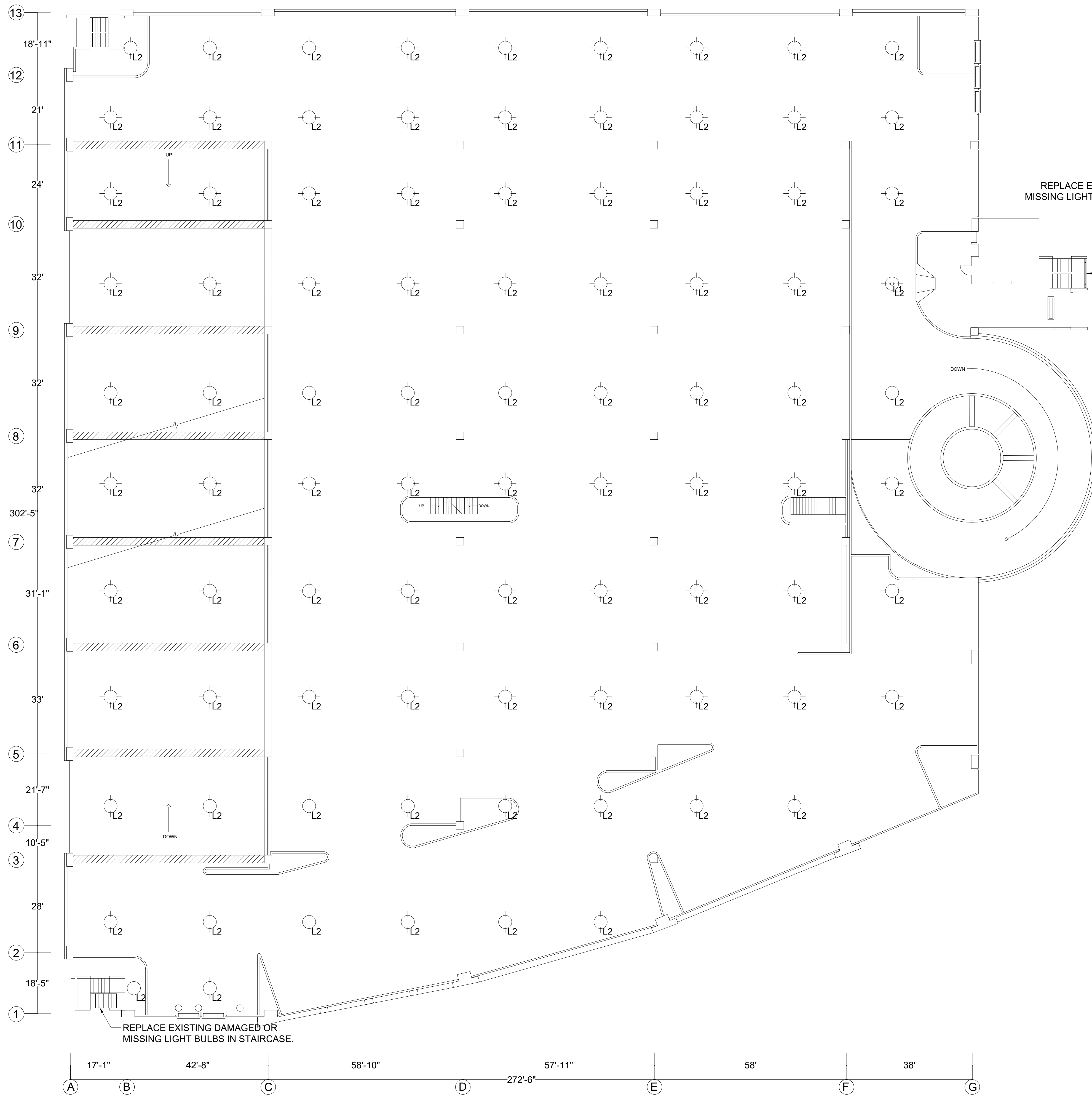
E-102

PAGE: 8/30

EXISTING LIGHTING_SECOND LEVEL

SCALE: 1/16" = 1' - 0"

SECOND LEVEL PROPOSED LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	88	SYLVANIA LUMINAIRES, ValueLED Garage, IP65-CCT 4000K, 10" diam./round, / 40 Watts / COLOR WHITE

ADDRESS
268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

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REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

LIGHTING SCHEDULE

SYLVANIA Luminaires
ValueLED™ Garage

Application
The Garage luminaires are environmentally preferable LED alternatives to traditional HD luminaires, offering up to 81% in energy savings. Ideal in place of traditional luminaires, or as new installations, the ValueLED Garage series is offered in three wattage/lumen packages for use in garages, canopies, and most bay garage lighting.

Benefits and Features

- IP65 rated body with polycarbonate lens offers easy mounting, reducing installation and maintenance costs
- High color rendering and DLC Premium listing ensure energy efficiency and provide uniform and even lighting
- Up to 141 LPW
- CCT Selectable (3000K, 4000K, or 5000K) enabled through switch located inside fixture
- CR > 80
- Offered in 25, 40, and 55 watts
- Type V distribution
- Energy savings up to 88%

Electrical

- 120-277V ac
- Power Factor > 90%
- THD < 20%
- Continuous 0-10V dimmable down to 10%
- Constant current LED driver with 10kV surge suppression

Rated Life

- 125,000 hours (L70) @ 25°C

Warranty

- 5-year
- NLB Trusted Warranty Program

Ambient Operating Range

- 22°F to +113°F (-30°C to +45°C)

Certifications and Listings

- dLUs listed to UL1598 standards, wet location
- RoHS
- FCCICES
- DLC S.1 Premium

Installation

- Easy installation directly to 3/4" pipe or back plate to junction box

Wattage Comparison

Traditional Source	Traditional System Wattage	LED System Wattage	Energy Savings
100W HPS	100	25	75%
150W HPS	150	35	77%
250W HPS	250	60	76%
400W HPS	400	100	75%
500W HPS	500	125	75%
100W MH	100	25	75%
150W MH	150	35	77%
250W MH	250	60	76%
400W MH	400	100	75%
500W MH	500	125	75%
100W CFL	100	25	75%
150W CFL	150	35	77%
250W CFL	250	60	76%
400W CFL	400	100	75%
500W CFL	500	125	75%

PRODUCT DESCRIPTION

Photometric Data

GARAG2A/025HVD8C2/10R5 Isofootcandle Lines at 12' Mounting Height

GARAG2A/040HVD8C2/10R5 Isofootcandle Lines at 12' Mounting Height

GARAG2A/055HVD8C2/10R5 Isofootcandle Lines at 12' Mounting Height

For other mounting heights apply the following multipliers:

Mounting Height	8'	10'	12'	15'	18'
Multiplier	2.25	1.44	1.00	0.64	0.44

Physical Information

Luminaire Description	Diameter	Height
Garage Luminaire	10" (254mm)	3.1" (78.5mm)

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PROFESSIONAL GROUP PSC

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SIGNATURE

William Meléndez Rivas
Ingenium
Lic. 16383 P.E.
Puerto Rico

FILE

Dwg Name: IWL2.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Meléndez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

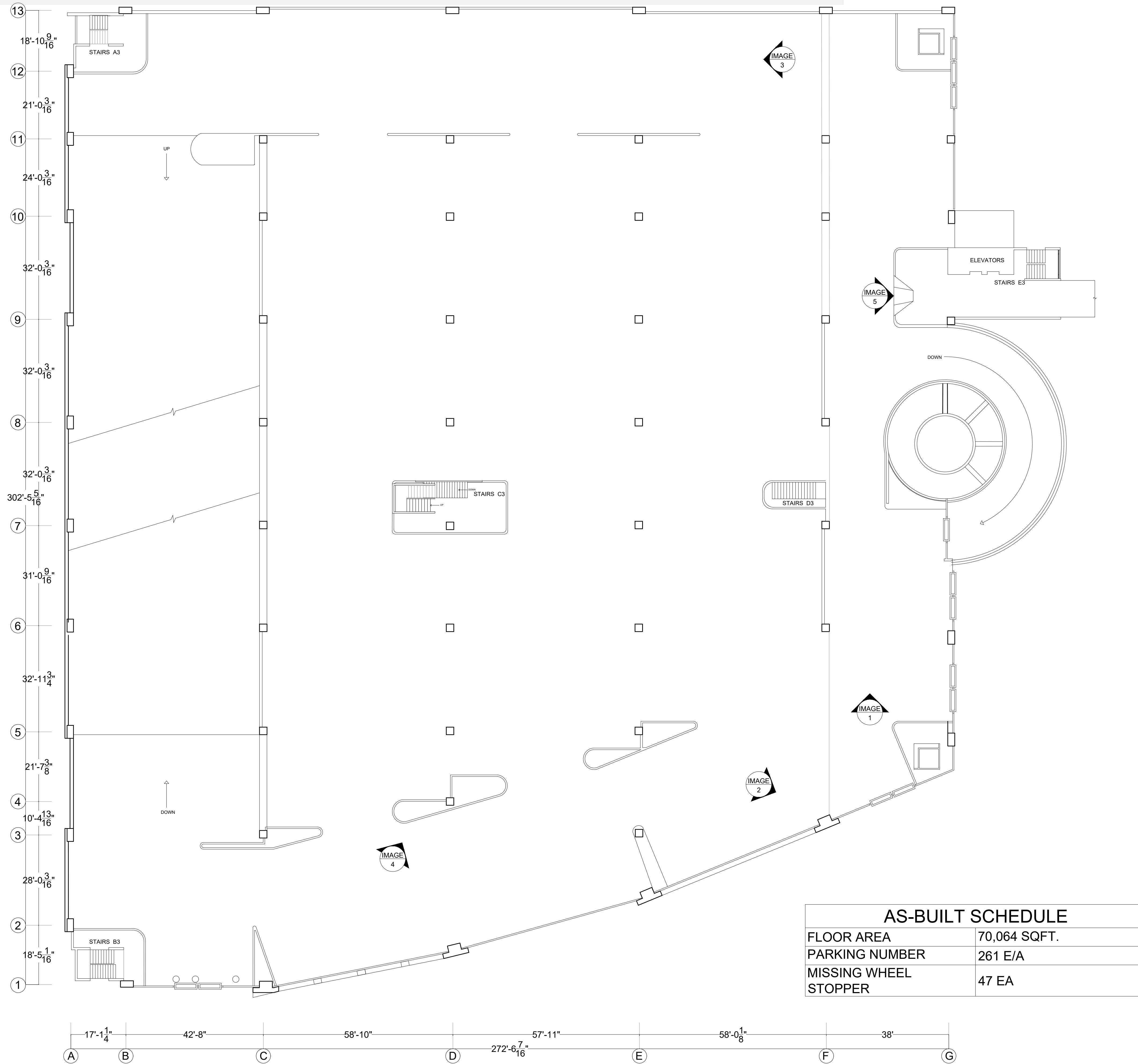
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PROPOSED LIGHTING IMPROVEMENTS-SECOND LEVEL

DRAWING NO.
E-103

PROPOSED LIGHTING IMPROVEMENTS_SECOND LEVEL
SCALE: 1/16" = 1' - 0"

THIRD LEVEL PARKING AS - BUILT- WORLD PLAZA PARKING LOT IMPROVEMENT



AS-BUILT SCHEDULE	
FLOOR AREA	70,064 SQFT.
PARKING NUMBER	261 E/A
MISSING WHEEL STOPPER	47 EA

PARKING AS- BUILT_ THIRD LEVEL
SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION

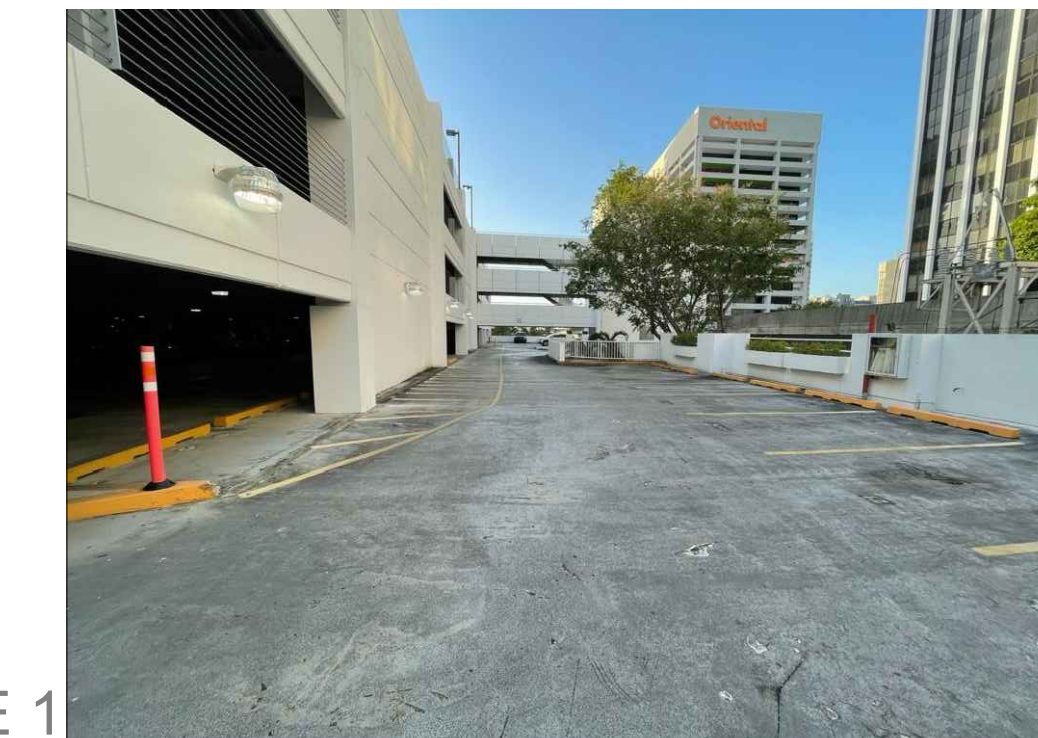


IMAGE 1
EXISTING TYPICAL PARKING AREA

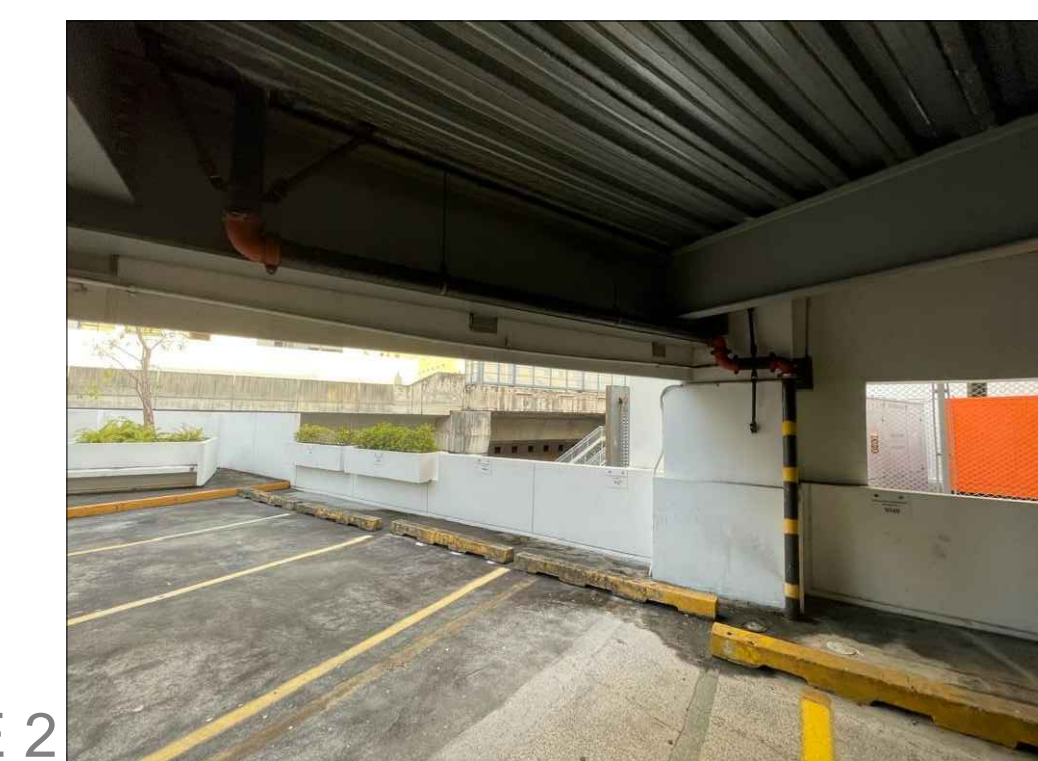


IMAGE 2
EXISTING FIRE CONTROLS SYSTEMS

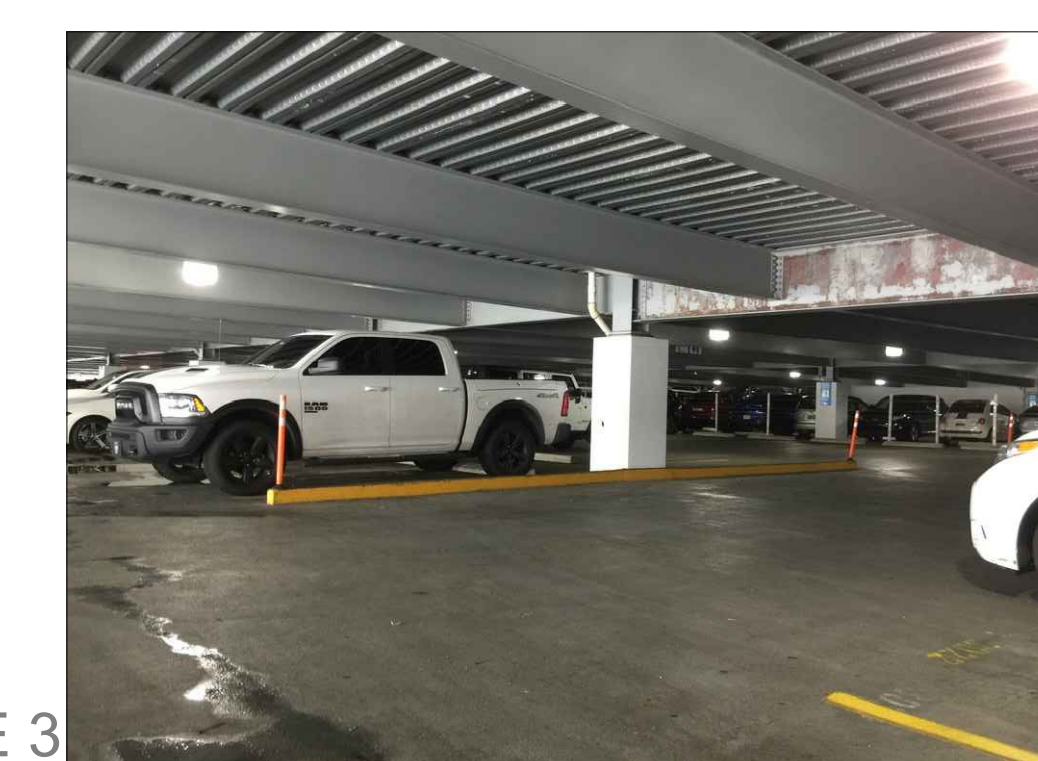


IMAGE 3
EXISTING TYPICAL PARKING AREA

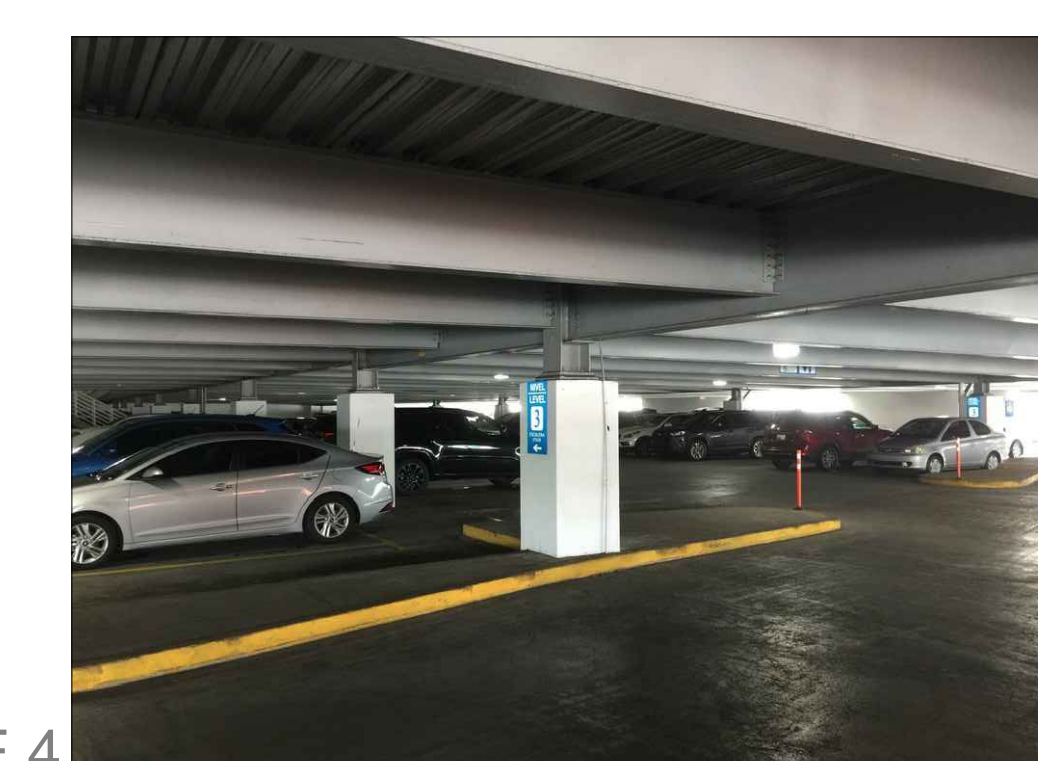


IMAGE 4
EXISTING TYPICAL PARKING AREA

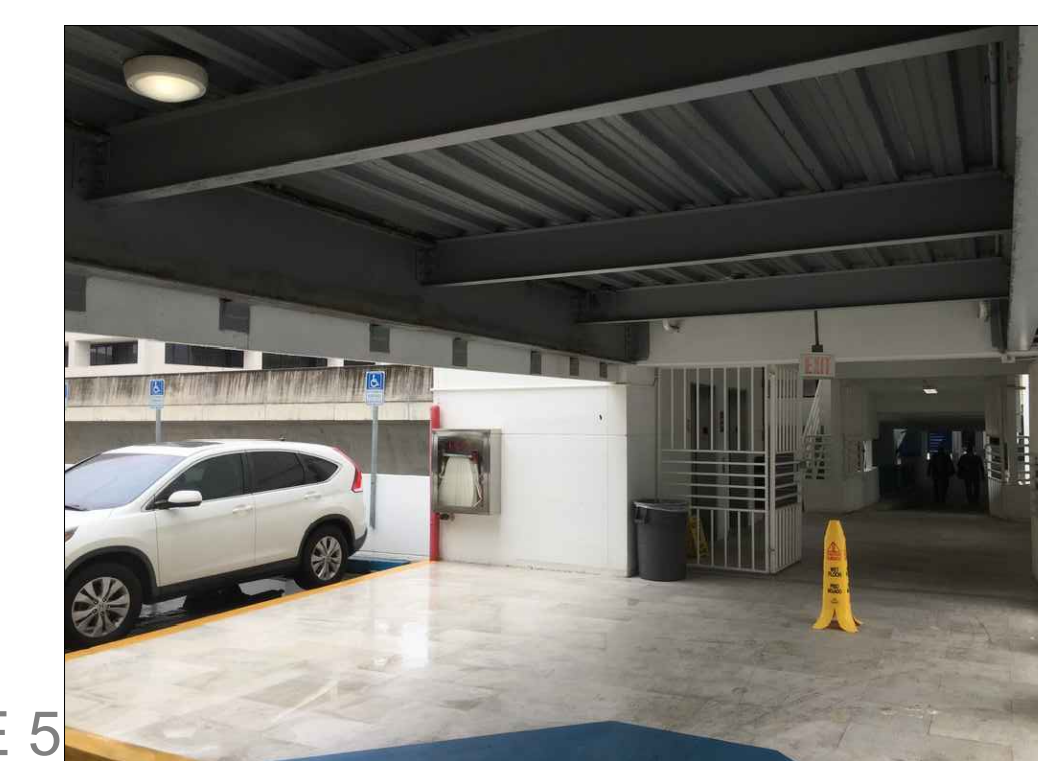


IMAGE 5
EXISTING STRUCTURAL VIEW OF PEDESTRIAN BRIDGE BETWEEN BUILDING AND PARKING LOTS LEVELS 4 TO 6

ADDRESS
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0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS	REV. DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED.
IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COST OF REPRODUCTION.
CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING: "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

CERTIFICATION
I, WILLIAM MELANDEZ RIVERA, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (DRAWE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IF FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 44-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE LAW NO. 238 OF MAY 15, 2008, AS AMENDED, ACT NO. 96 OF JULY 6, 1978, AS AMENDED, AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE GOVE.



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SIGNATURE



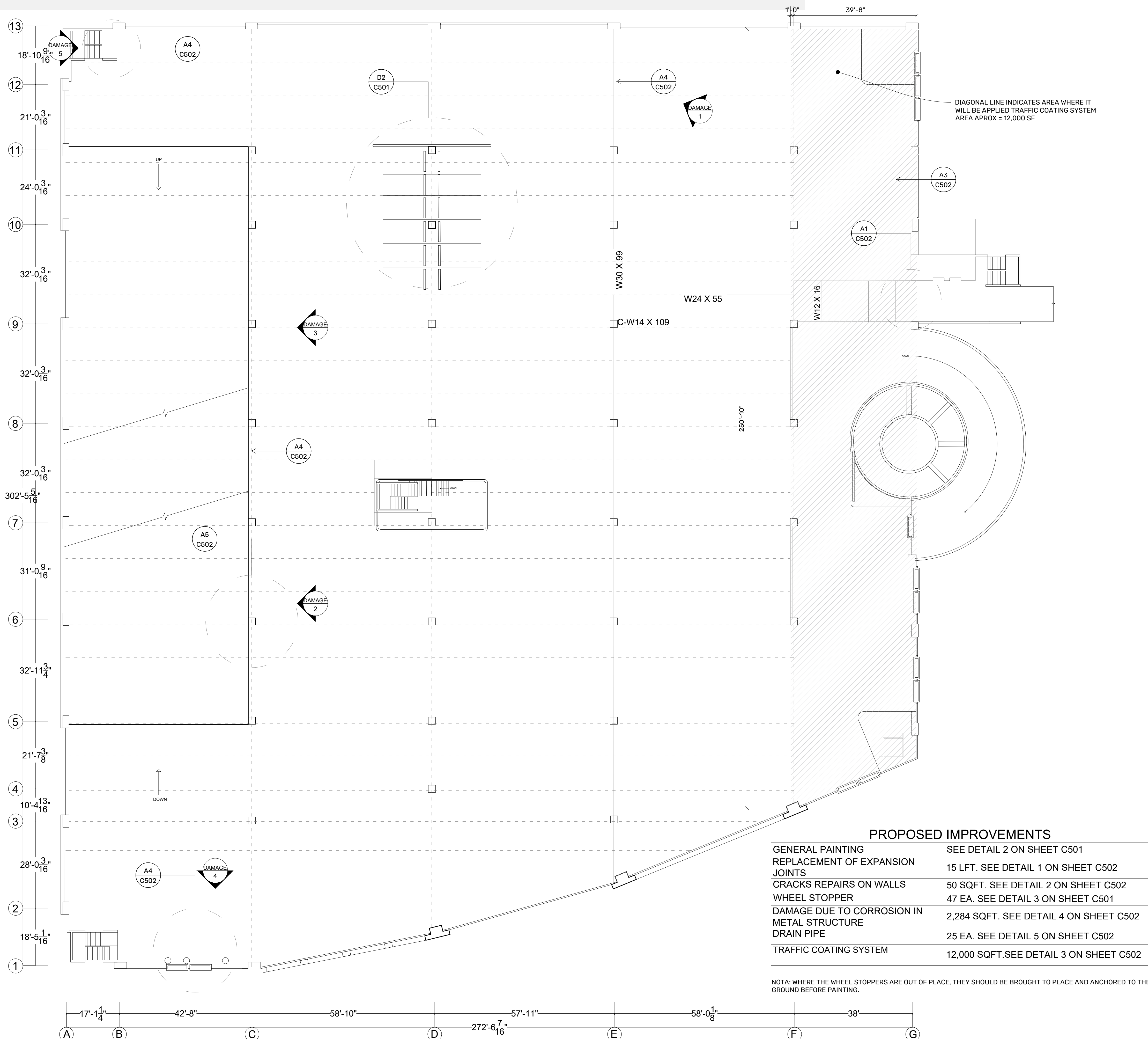
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Dwg Name: ME3.3.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Melendez Rivera, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE
PARKING AS-BUILT-THIRD LEVEL

DRAWING NO.
C-102

PAGE: 10/30

THIRD LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



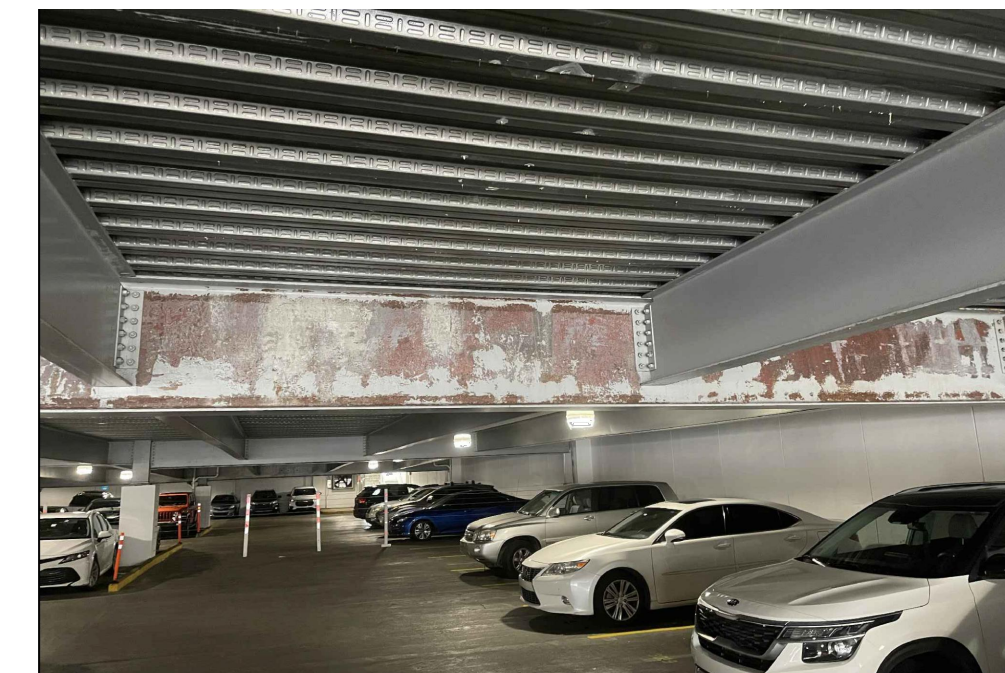
PROPOSED IMPROVEMENTS	
GENERAL PAINTING	SEE DETAIL 2 ON SHEET C501
REPLACEMENT OF EXPANSION JOINTS	15 LFT. SEE DETAIL 1 ON SHEET C502
CRACKS REPAIRS ON WALLS	50 SQFT. SEE DETAIL 2 ON SHEET C502
WHEEL STOPPER	47 EA. SEE DETAIL 3 ON SHEET C501
DAMAGE DUE TO CORROSION IN METAL STRUCTURE	2,284 SQFT. SEE DETAIL 4 ON SHEET C502
DRAIN PIPE	25 EA. SEE DETAIL 5 ON SHEET C502
TRAFFIC COATING SYSTEM	12,000 SQFT. SEE DETAIL 3 ON SHEET C502

NOTA: WHERE THE WHEEL STOPPERS ARE OUT OF PLACE, THEY SHOULD BE BROUGHT TO PLACE AND ANCHORED TO THE GROUND BEFORE PAINTING.

PROPOSED IMPROVEMENTS_THIRD LEVEL

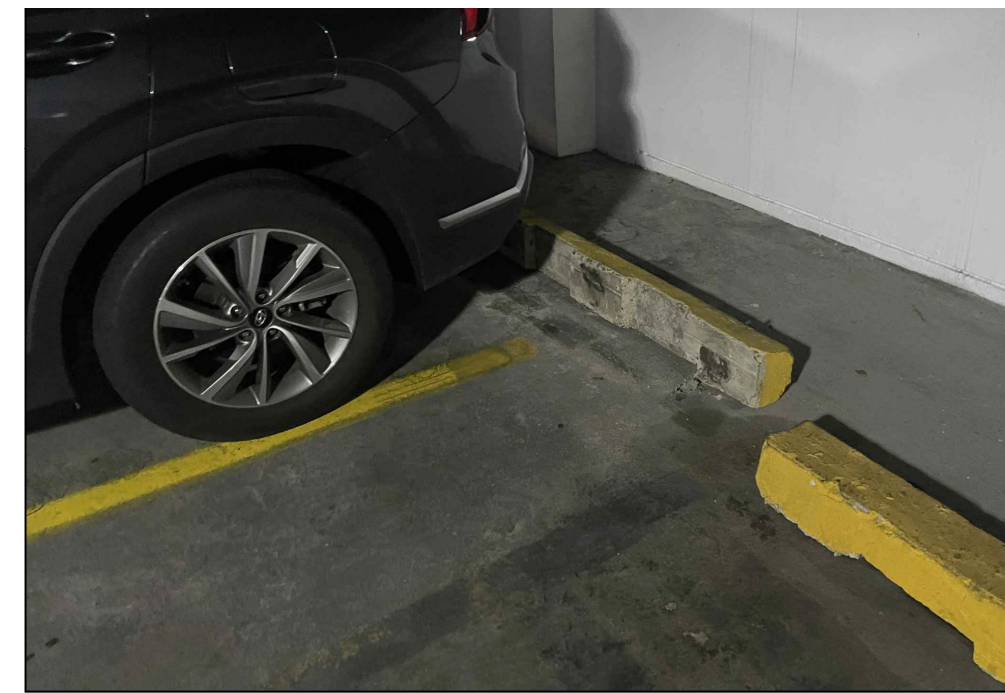
SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION



DAMAGE 1

BEAM OF THIRD LEVEL WITHOUT EPOXY PAINT. IT IS VULNERABLE TO CORROSION



DAMAGE 2

WHEEL-STOPPERS WITH INADEQUATE SUPPORT



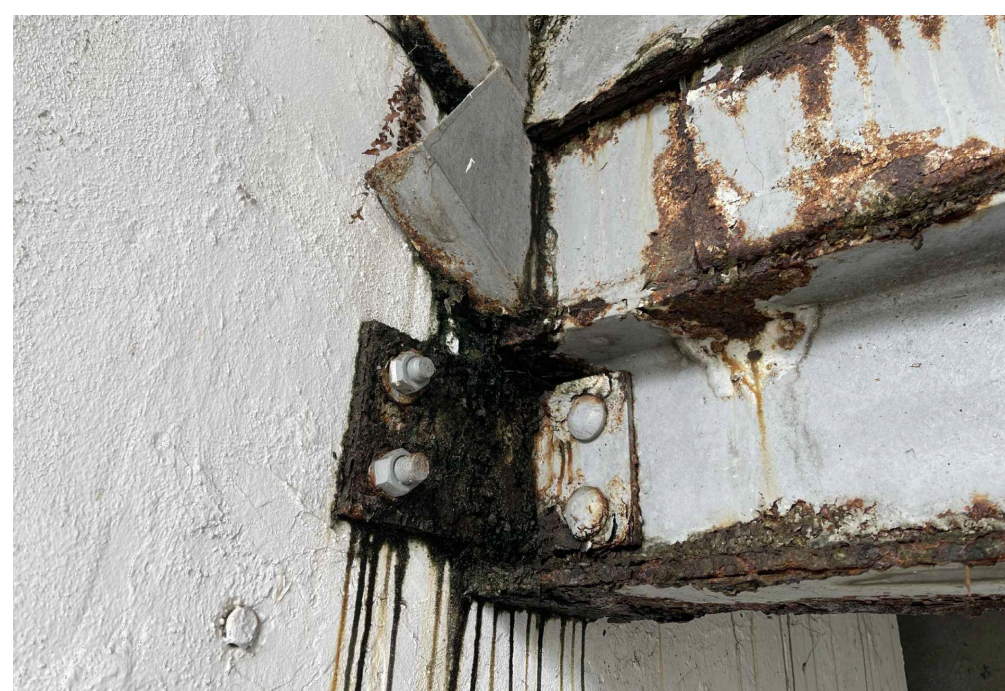
DAMAGE 3

CORROSION OF BEAMS AND METAL DECK ALONG LONGITUDINAL AXES OF THE RAMP



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

CORROSION OF BEAMS OF STAIR AT SOUTH-WEST STAIR

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D
..

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 18383, CERTIFY THAT I AM THE PROFESSIONAL WHO MADE, DESIGNED OR PREPARED THESE PLANS AND THE CORRESPONDING SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE GOVT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 18-2008 AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE LAW NO. 318 OF MAY 15, 1938, AS AMENDED, NOT NO. 96 OF JULY 6, 1976, AS AMENDED, AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PROVIDED BY CONTRACTOR OR HELD TRUE BY OTHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE STATE.



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FILE

Dwg Name: WEL3.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Oct 03, 2024

TITLE

IMPROVEMENTS TO THE 3RD LEVEL

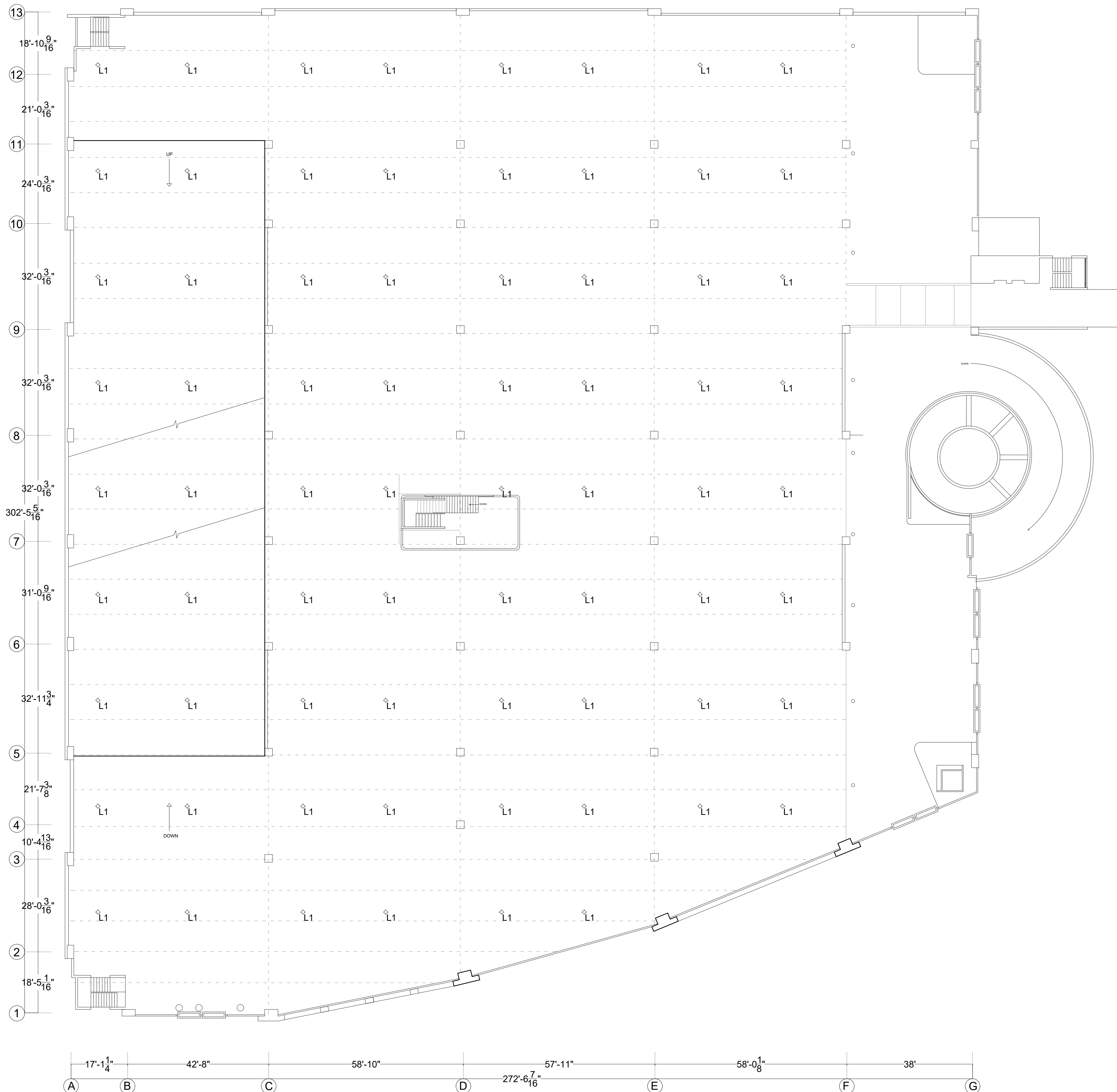
DRAWING NO.

A-102

PAGE:

11/30

THIRD LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



			LEGEND
TYPE	CONDITION	QTY	DESCRIPTION
	EXISTING LIGHTING	70	EXISTING LIGHTING

GENERAL NOTES

- 1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
- 2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
- 3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
- 4.OUTDOOR SPOTLIGHT IP-66.
- 5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

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OWNER

P O D E R J U D I C I A L

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REVISIONS

REV.	DATE	DESCRIPTION	BY	CHKD
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FILE

Dwg Name: ME3.3.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP P.S.C.
Revised by: Eng. W. Meléndez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

EXISTING LIGHTING-THIRD LEVEL

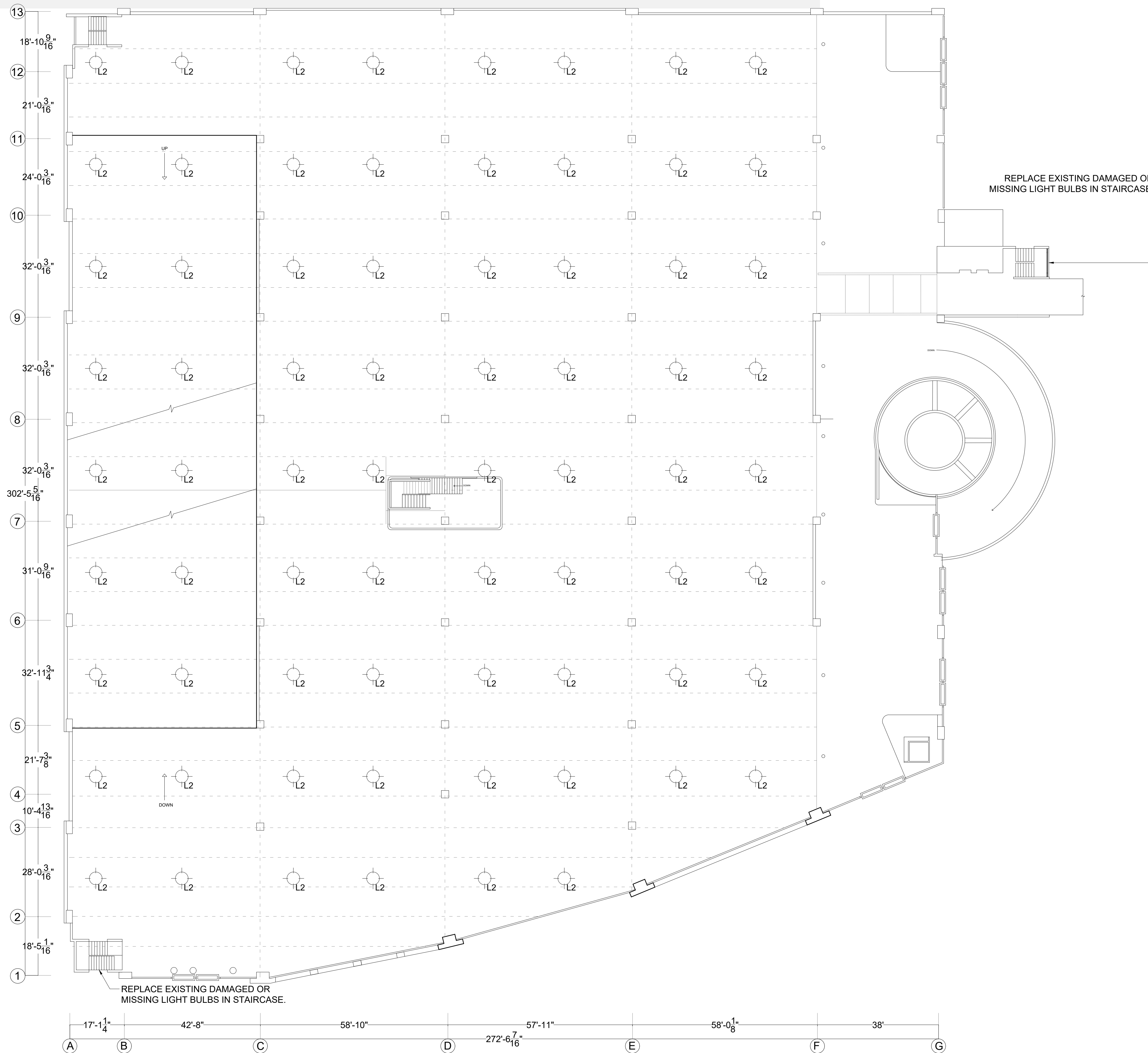
DRAWING NO.

E-104

EXISTING LIGHTING_THIRD LEVEL

SCALE: 1/16" = 1' - 0"

THIRD LEVEL PROPOSED LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	70	SYLVANIA LUMINAIRE- ValueLED Garage. IP65-CCT 4000K. 10" diam, round / 40 Watts / COLOR WHITE

LIGHTING SCHEDULE

SYLVANIA Luminares
ValueLED™ Garage

Application
The Garage luminaire are environmentally preferable LED alternatives to traditional HD luminaires, offering up to 81% in energy savings. Ideal in place of traditional luminaires, or as new installations, the ValueLED Garage series is offered in three wattages/lumen packages for use in garages, canopies, and mid bay general lighting.

Benefits and Features

- IP65 rated body with polycarbonate lens offers easy mounting, reducing installation and maintenance costs
- High color rendering and DLC Premium listing ensure energy efficiency and provide uniform and even lighting
- Up to 141 LPW
- CCT Selectable (3000K, 4000K, or 5000K) enabled through switch located inside luminaire
- CFR -iD
- Offered in 25, 40, and 55 watts
- Type I distribution
- Energy savings up to 88%

Electrical

- 120-277VAC
- Power Factor >90%
- THD <20%
- Continuous 0-10V dimmable down to 10%
- Constant current LED driver with 10kV surge suppression

Rated Life

- 125,000 hours (L70) @25°C

Warranty

- 5 years
- N.B. TruSted Warranty Program

Ambient Operating Range

- 22°F to +113°F (-30°C to +45°C)

Certifications and Listings

- dLUL listed to UL1598 standards, wet location
- RoHS
- FDA/CES
- DLC S1 Premium

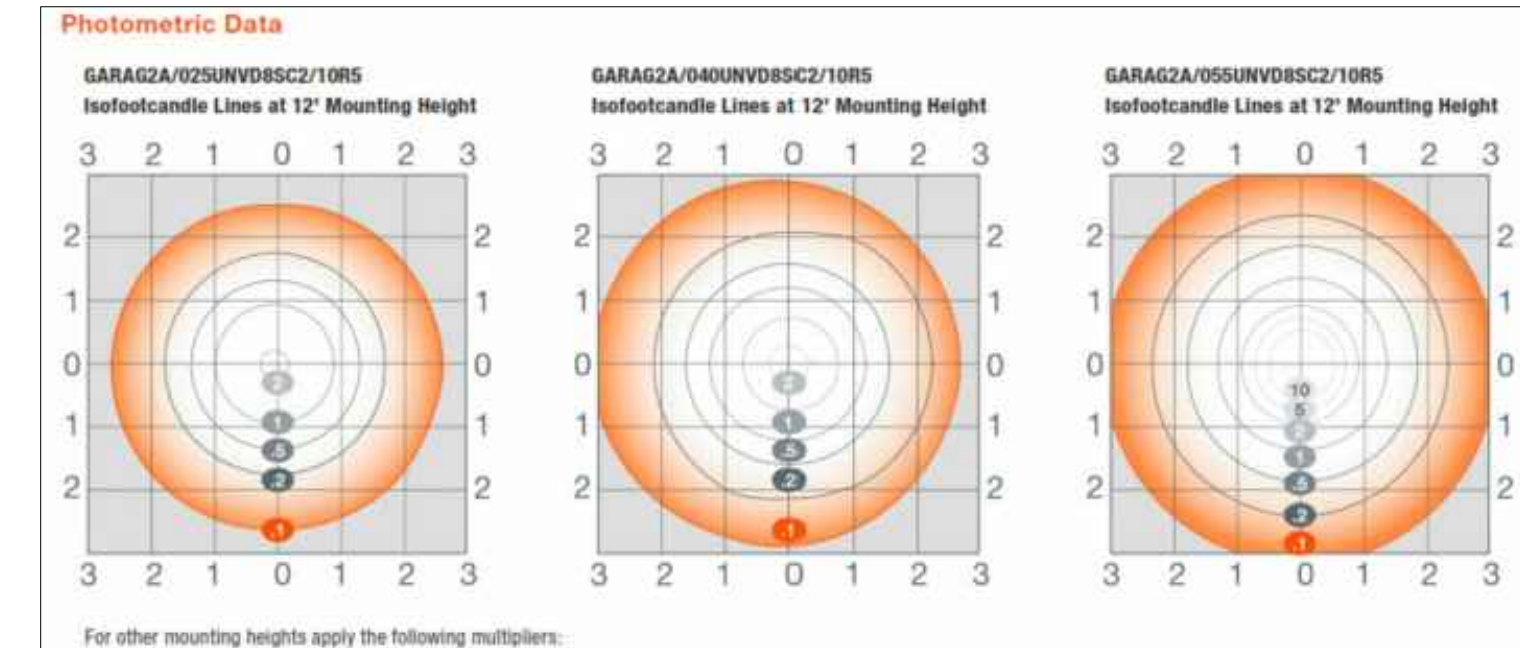
Installation

- Easy installation directly to 3/4" pipe or back plate to junction box.

Wattage Comparison

Wattage	Traditional System Wattage	LED System Wattage	Energy Savings
25W	100W	25W	75%
40W	160W	40W	75%
55W	220W	55W	75%

PRODUCT DESCRIPTION



Physical Information

Luminaire Description	Diameter	Height
Garage Luminaire	10" (254mm)	3.1" (79.5mm)

ADDRESS
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REV.	DATE	DESCRIPTION	BY	CHKD
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CERTIFICATION

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SIGNATURE



FILE

Dwg Name: MEL3.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP_PSC
Revised by: Eng. W. Meléndez Rivera, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

PROPOSED LIGHTING IMPROVEMENTS-THIRD LEVEL

DRAWING NO.
E-105

PAGE: 13/30

PROPOSED LIGHTING IMPROVEMENTS_THIRD LEVEL

SCALE: 1/16" = 1' - 0"

FOURTH LEVEL PARKING AS- BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT

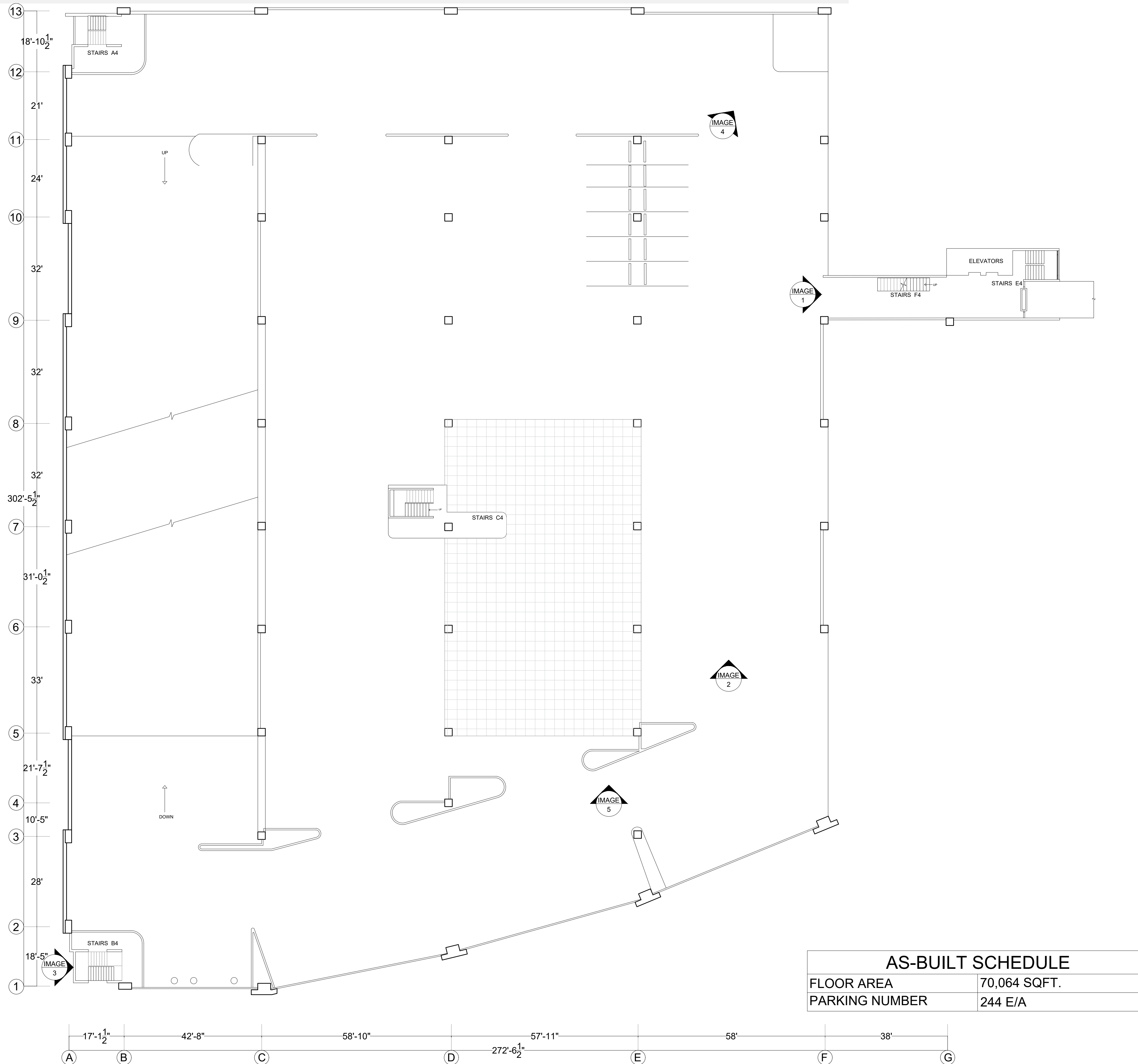


PHOTO DOCUMENTATION

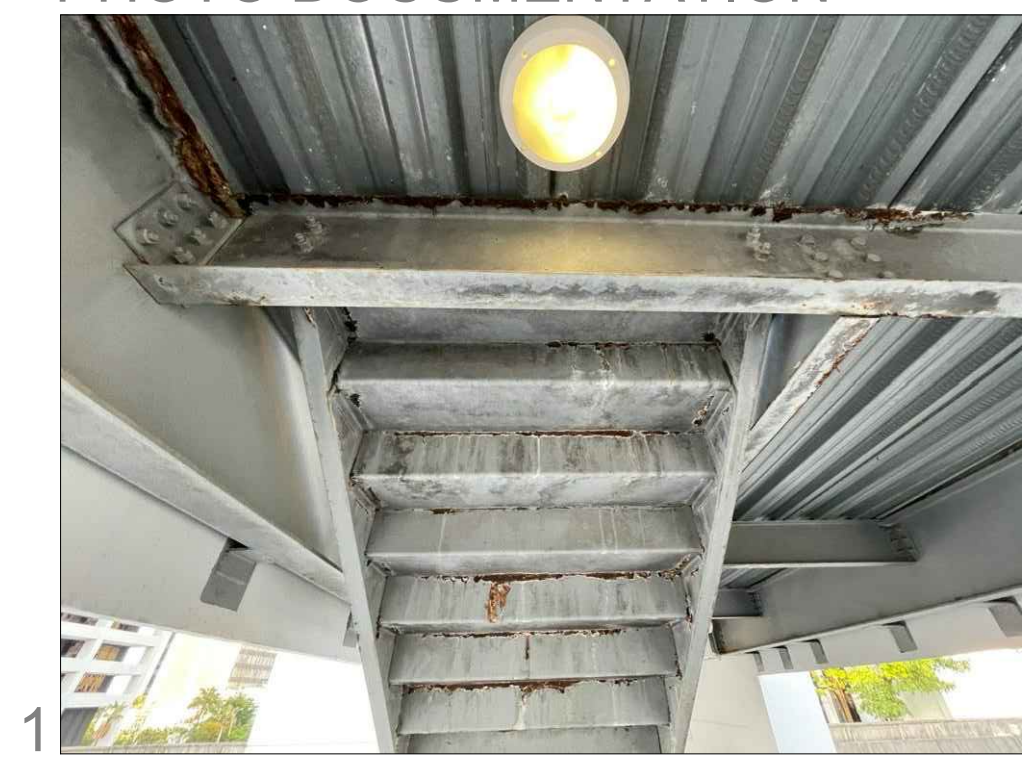


IMAGE 1 EXISTING DAMAGE BEAM AND CORRODED MEMBERS

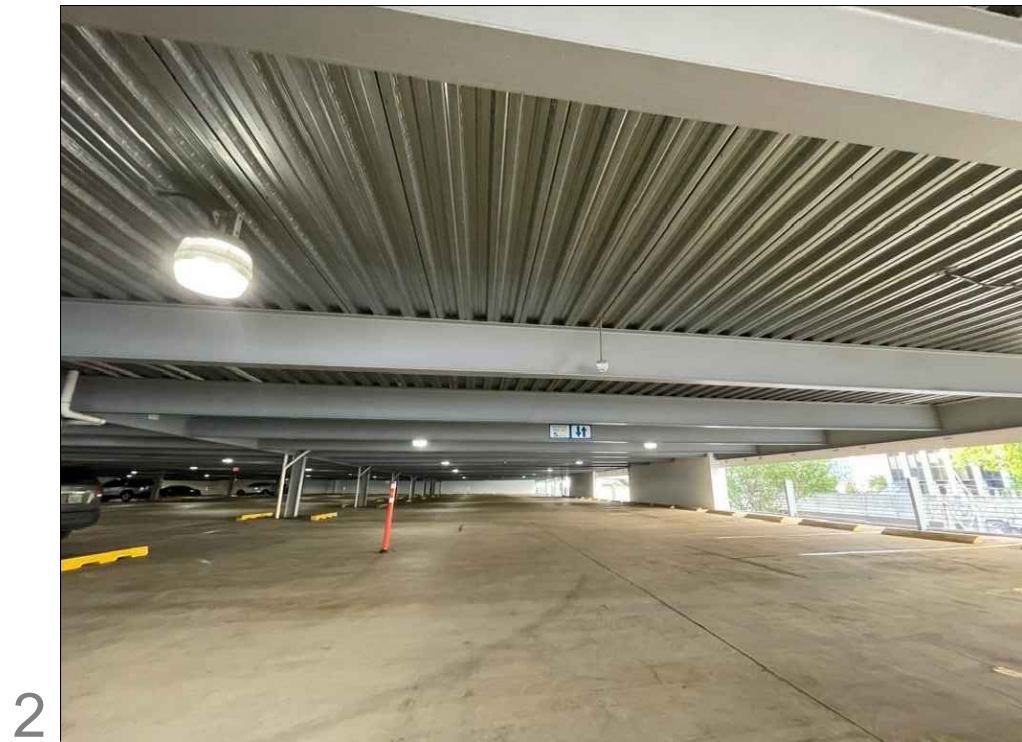


IMAGE 2 EXISTING LIGHTING



IMAGE 3 EXISTING STRUCTURAL CONDITIONS - TYPICAL VIEW

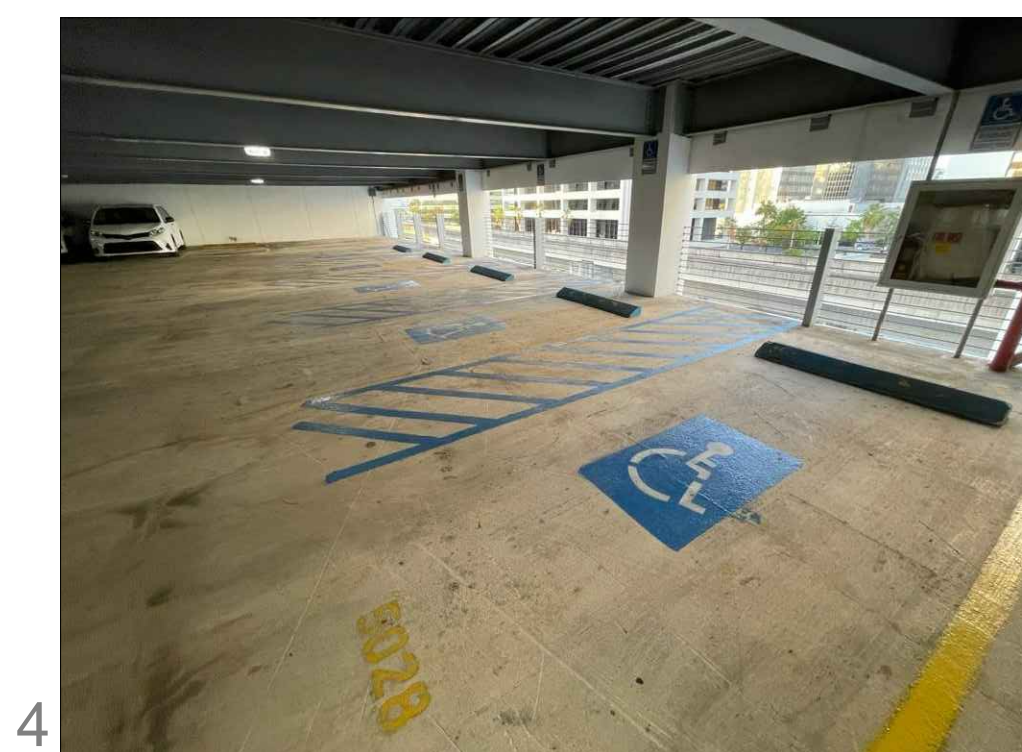


IMAGE 4 EXISTING TYPICAL ADA LAYOUT

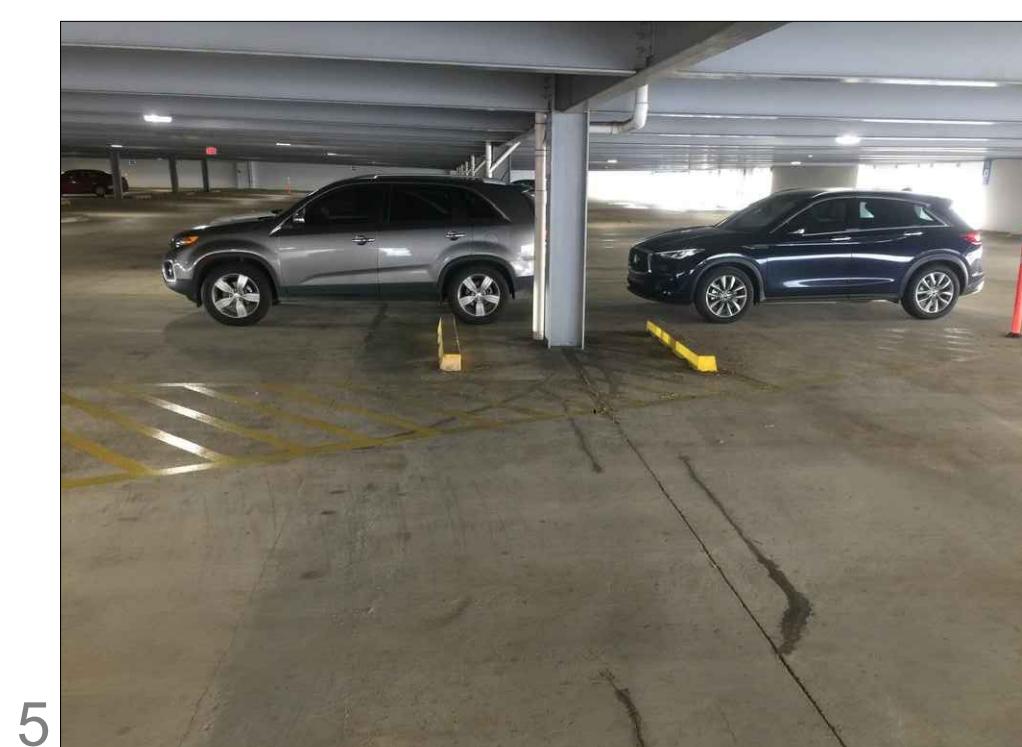


IMAGE 5 EXISTING UNCOLORED MARKING STRIPES

ADDRESS
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REV. DATE DESCRIPTION BY CHK'D

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IPG INGENIUM
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SIGNATURE

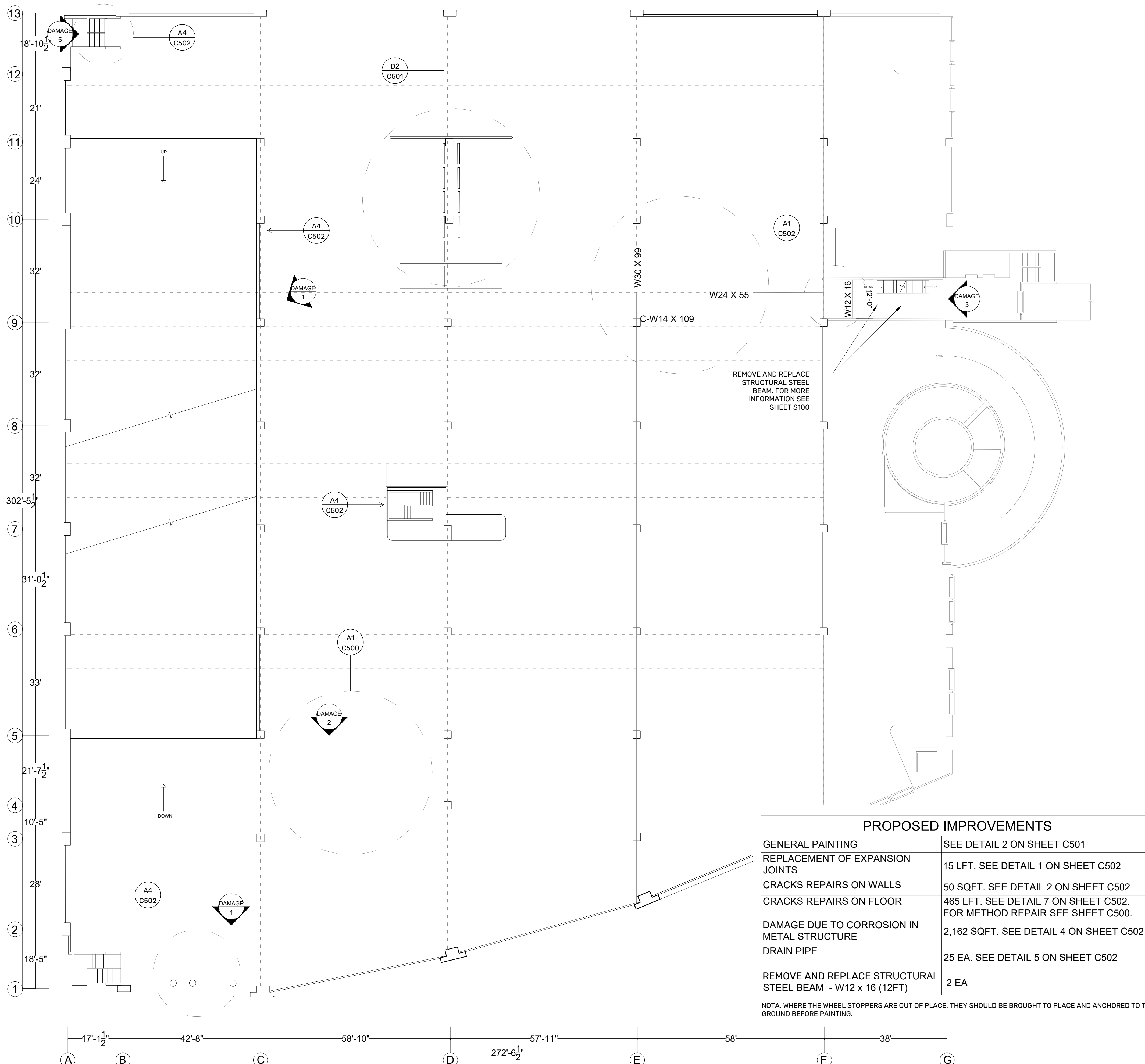
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Dwg Name: NIVEL 4.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE
PARKING AS- BUILT-FOURTH LEVEL

DRAWING NO.
C-103

PARKING AS- BUILT_FOURTH LEVEL
SCALE: 1/16" = 1' - 0"

FOURTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



PROPOSED IMPROVEMENTS	
GENERAL PAINTING	SEE DETAIL 2 ON SHEET C501
REPLACEMENT OF EXPANSION JOINTS	15 LFT. SEE DETAIL 1 ON SHEET C502
CRACKS REPAIRS ON WALLS	50 SQFT. SEE DETAIL 2 ON SHEET C502
CRACKS REPAIRS ON FLOOR	465 LFT. SEE DETAIL 7 ON SHEET C502. FOR METHOD REPAIR SEE SHEET C500.
DAMAGE DUE TO CORROSION IN METAL STRUCTURE	2,162 SQFT. SEE DETAIL 4 ON SHEET C502
DRAIN PIPE	25 EA. SEE DETAIL 5 ON SHEET C502
REMOVE AND REPLACE STRUCTURAL STEEL BEAM - W12 x 16 (12FT)	2 EA

NOTE: WHERE THE WHEEL STOPPERS ARE OUT OF PLACE, THEY SHOULD BE BROUGHT TO PLACE AND ANCHORED TO THE GROUND BEFORE PAINTING.

PROPOSED IMPROVEMENTS_FOURTH LEVEL

SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION



DAMAGE 1

PERIMETER ANGLES GIVING SUPPORT TO STEEL DECK WITH SEVERE CORROSION. THIS SAME OBSERVATION FOR TOP FLANGES OF MAIN STEEL BEAMS



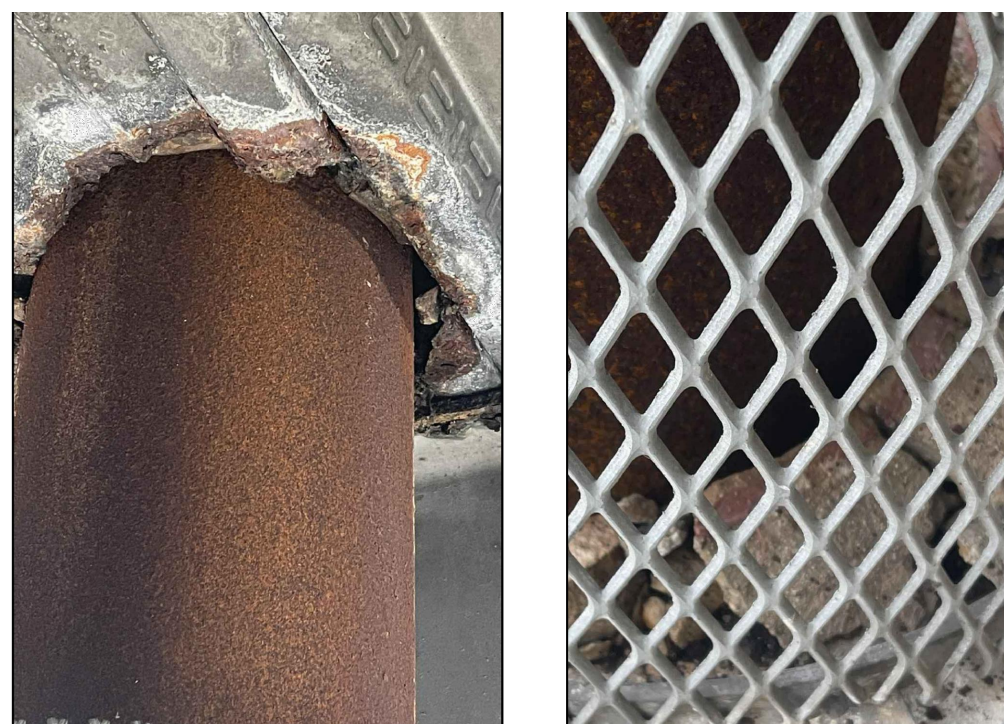
DAMAGE 2

FLOOR CRACKS



DAMAGE 3

BEAM CORROSION, IN THE BRIDGE AREA BETWEEN BUILDINGS. THE REPLACEMENT OF THESE IS RECOMMENDED.



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

CORROSION OF BEAMS OF STAIR AT SOUTH-WEST STAIR

ADDRESS

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OWNER

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REV.	DATE	DESCRIPTION	BY	CHK'D
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FILE

Dwg Name: WEL44g
Drawn by: INGENIUM PROFESSIONAL GROUP/PSC
Revised by: Eng. W. Meléndez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

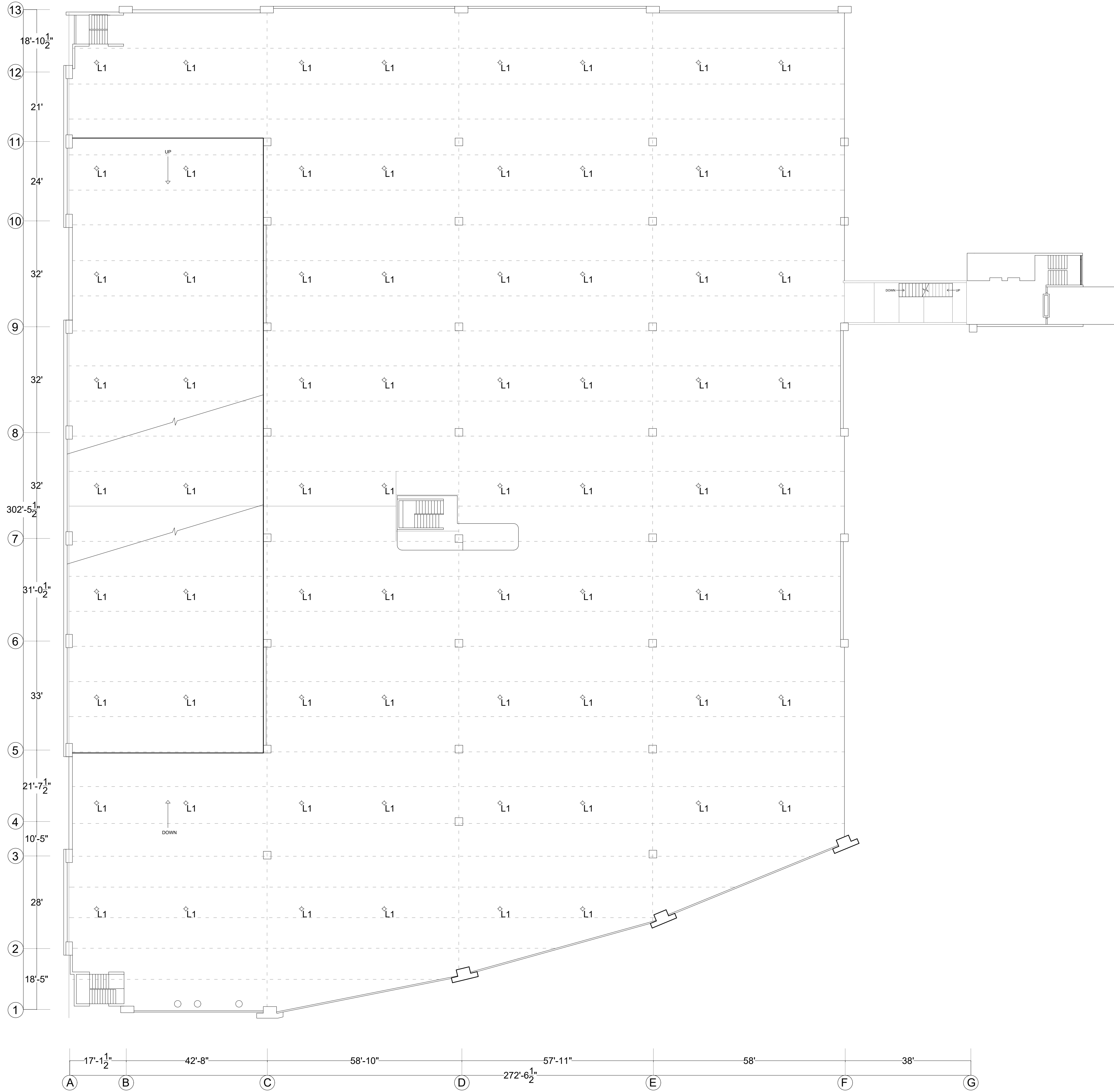
TITLE

IMPROVEMENTS TO THE 4TH FLOOR

DRAWING NO.

A-103

FOURTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	EXISTING LIGHTING	70	EXISTING LIGHTING

GENERAL NOTES

1. LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
2. THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
3. IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
4. OUTDOOR SPOTLIGHT IP-66.
5. THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

063-031-639-02

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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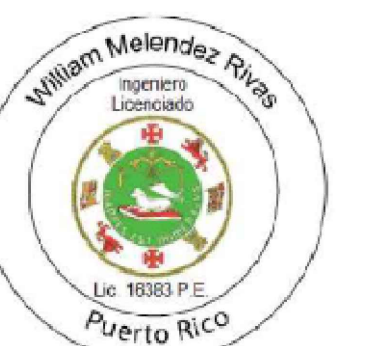
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SIGNATURE



FILE

Dwg Name: IMEL.dwg
 Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
 Revised by: Eng. W. Meléndez Rivas, #16383
 Plot Scale:
 Progress Print: Sep 27, 2024

TITLE

EXISTING LIGHTING-FOURTH LEVEL

DRAWING NO.

E-106

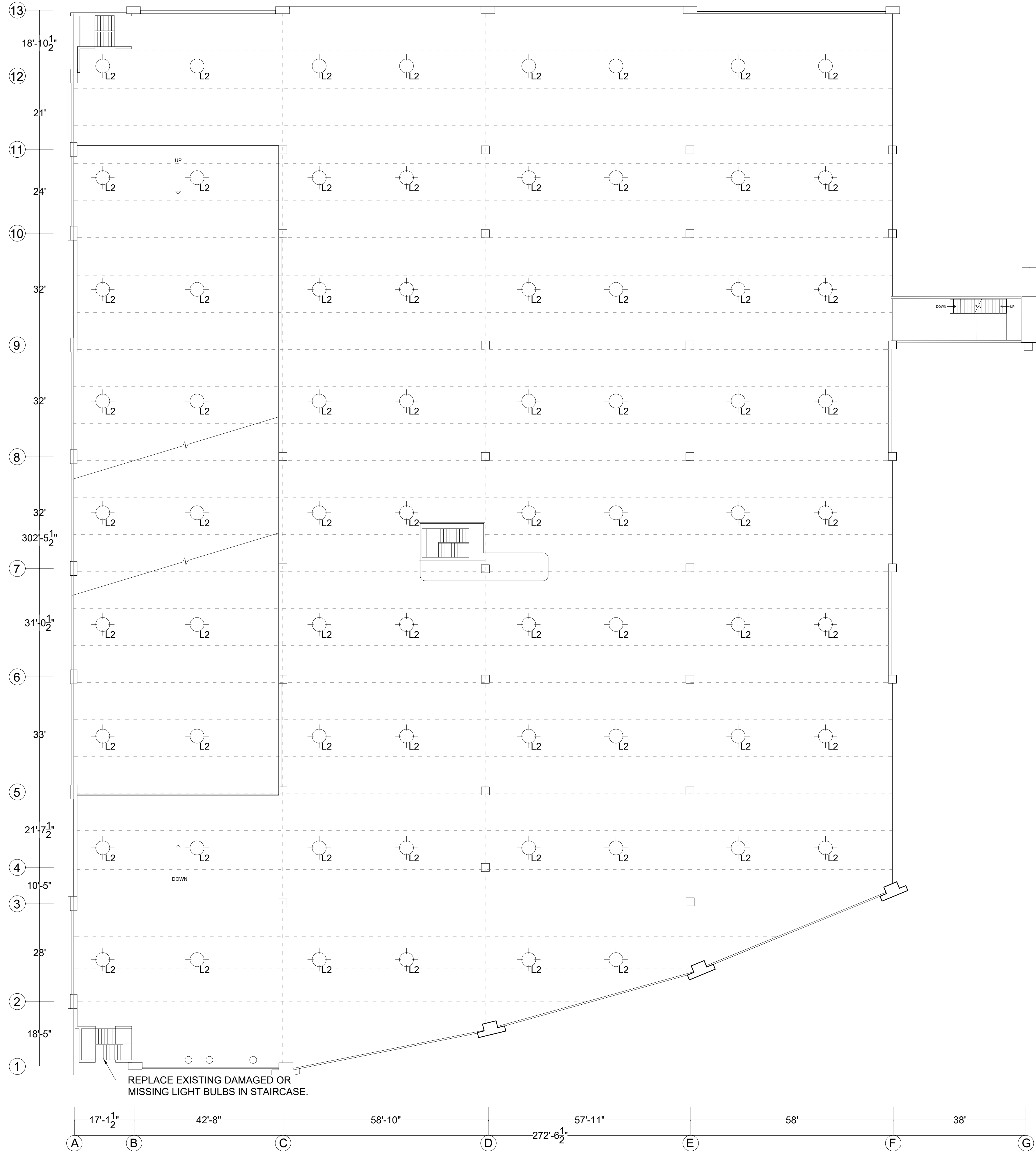
PAGE:

16/30

EXISTING LIGHTING_FOURTH LEVEL

SCALE: 1/16" = 1' - 0"

FOURTH LEVEL PROPOSED LIGHTING AND RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	70	SYLVANIA LUMINAIRES, ValueLED Garage, IP65-CCT 4000K, 10" diam, round / 40 Watts / COLOR WHITE

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REV.	DATE	DESCRIPTION	BY	CHK'D

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IPG INGENIUM PROFESSIONAL GROUP PSC
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FILE
Dwg Name: WEL-L09
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Meléndez Rivera, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE
PROPOSED LIGHTING IMPROVEMENTS -FOURTH LEVEL

DRAWING NO.
E-107

PAGE: 17/30

LIGHTING SCHEDULE

SYLVANIA Luminaires
ValueLED™ Garage

Item #	Type	Project	Notes	Date

Application
The Garage luminaires are environmentally preferable LED alternatives to traditional HID luminaires, offering up to 50% in energy savings. Ideal in place of traditional luminaires, or as new installations, the ValueLED Garage series is offered in three wattage/lumen packages for use in garages, carports, and mid bay general lighting.

Benefits and Features

- IP65 rated body with polycarbonate lens offers easy mounting, reducing installation and maintenance costs
- High color rendering and DLC Premium listing ensure energy efficiency and provide uniform and even lighting
- Up to 141 LPW
- CCT Selectable (5000K, 4000K, or 5000K) enabled through switch located inside fixture
- CRI >80
- Offered in 25, 40, and 55 watts
- Type V distribution
- Energy savings up to 58%

Electrical

- 120-277V ac
- Power Factor >90%
- THD <20%
- Continuous 0-10V dimmable down to 10%
- Constant current LED driver with 10M surge suppression

Rated Life

- 125,000 hours (L70 @25°C)

Warranty

- 5-year
- NLB Trusted Warranty Program

Ambient Operating Range

- 22°F to +113°F (-5°C to +45°C)

Certifications and Listings

- cULus listed to UL1598 standards, wet location
- RoHS
- FCC/ICES
- DLC S.1 Premium

Installation

- Easy installation directly to 3/4" pipe or back plate to junction box

Wattage Comparison			
Traditional Luminaire	Traditional System Wattage	LED System Wattage	Energy Savings
150W HPS	150	40	73%
150W MH	150	40	73%
100W HPS	100	25	75%
100W MH	100	25	75%
75W HPS	75	20	73%
75W MH	75	20	73%
50W HPS	50	15	70%
50W MH	50	15	70%
35W HPS	35	10	71%
35W MH	35	10	71%
25W HPS	25	10	60%
25W MH	25	10	60%

PRODUCT DESCRIPTION

Photometric Data

GARAGA/025UNV085C2/10R5 Isofootcandle Lines at 12' Mounting Height		GARAGA/040UNV085C2/10R5 Isofootcandle Lines at 12' Mounting Height		GARAGA/055UNV085C2/10R5 Isofootcandle Lines at 12' Mounting Height	
3	2	3	2	3	2
2	1	2	1	2	1
1	0	1	0	1	0
0	0	0	0	0	0
1	1	1	1	1	1
2	2	2	2	2	2
3	2	3	2	3	2

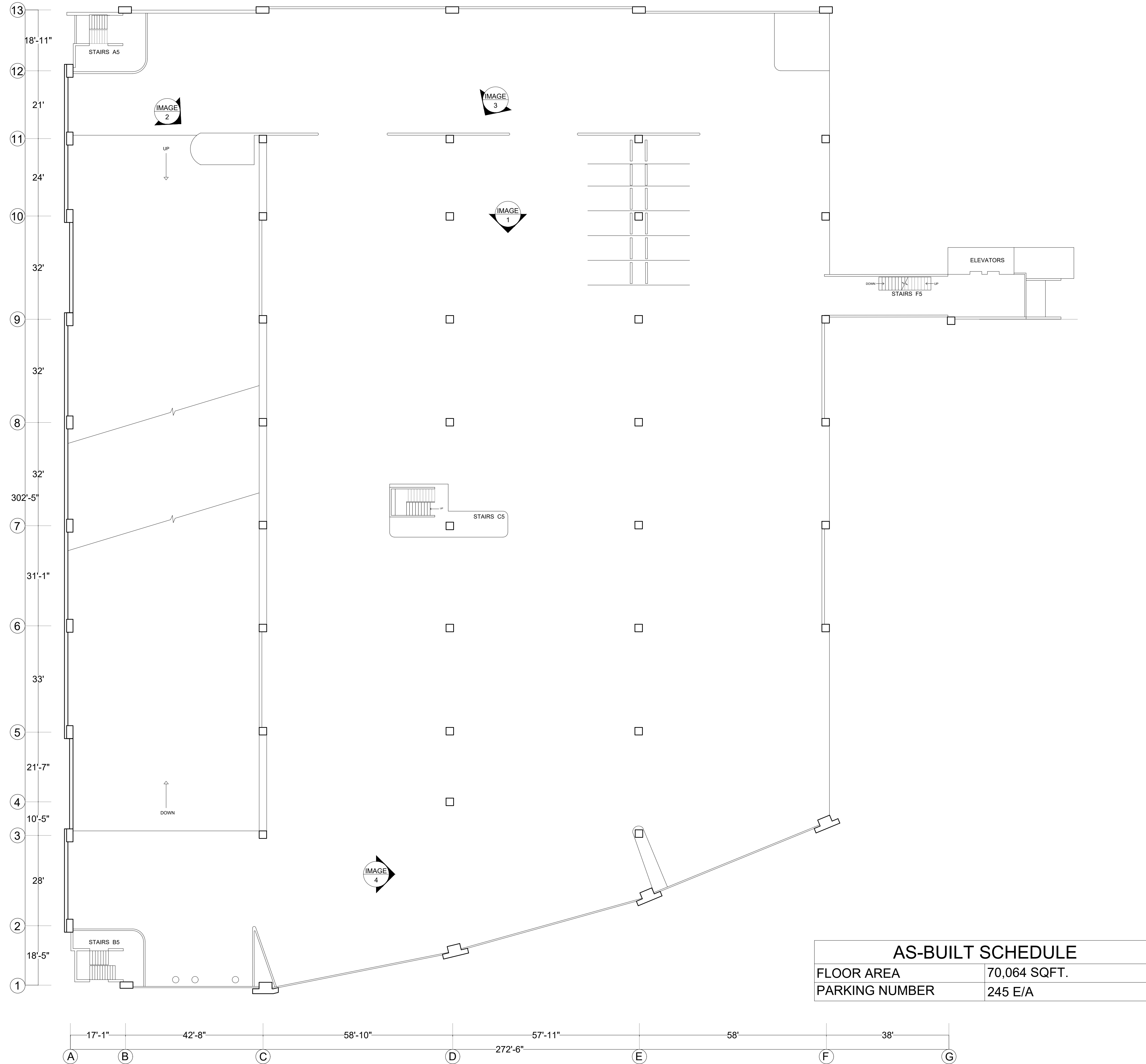
For other mounting heights apply the following multipliers:

Mounting Height	8'	10'	12'	15'	18'
Multiplier	2.25	1.44	1.00	0.64	0.44

Physical Information

Luminaire Description	Diameter	Height
Garage Luminaire	10" (254mm)	3.1" (78.5mm)

PROPOSED LIGHTING IMPROVEMENTS_FOURTH LEVEL
SCALE: 1/16" = 1' - 0"



AS-BUILT SCHEDULE	
FLOOR AREA	70,064 SQFT.
PARKING NUMBER	245 E/A

PHOTO DOCUMENTATION

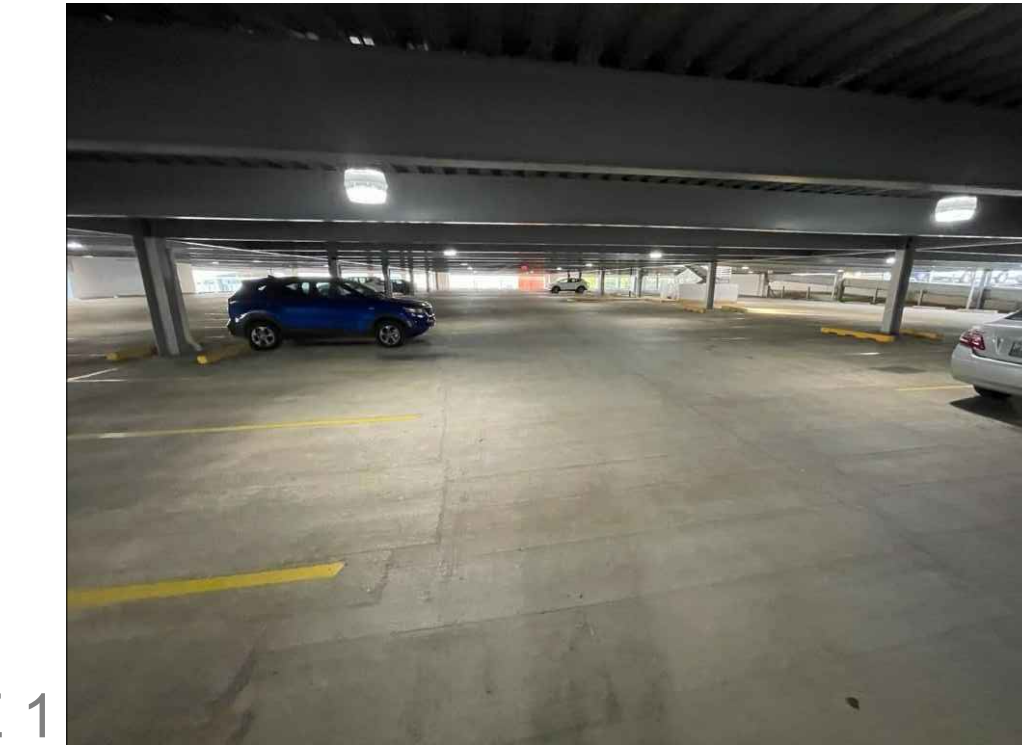


IMAGE 1
EXISTING LIGHTING CONDITION



IMAGE 2
EXISTING METAL POST AND CABLE BARRIER

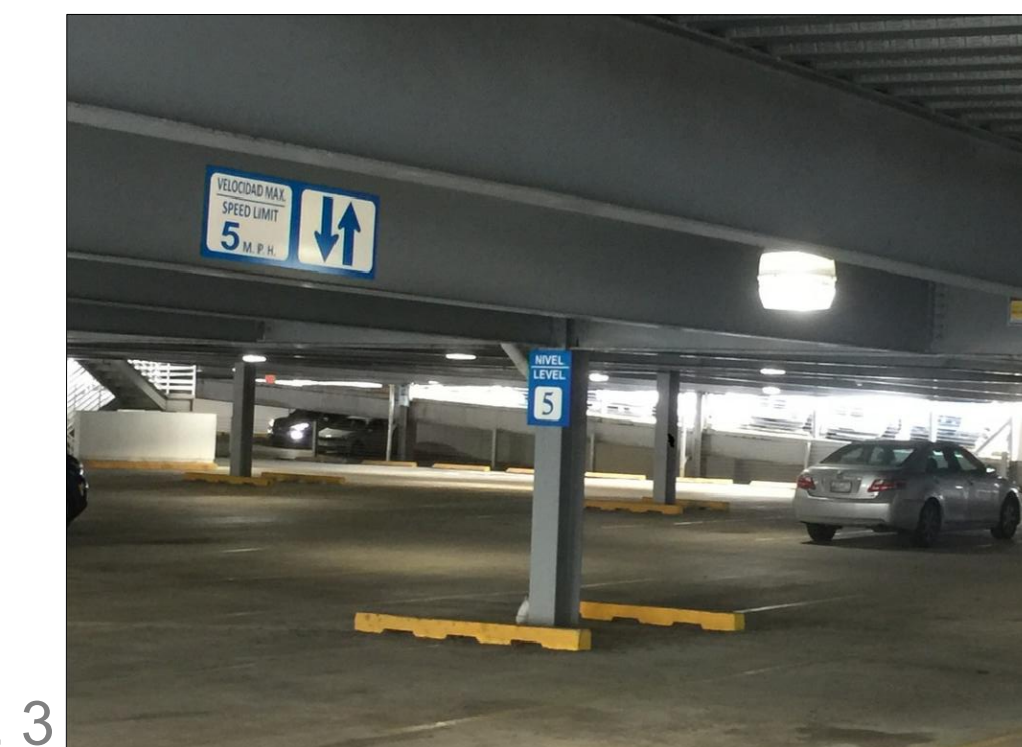


IMAGE 3
EXISTING STRUCTURAL CONDITIONS

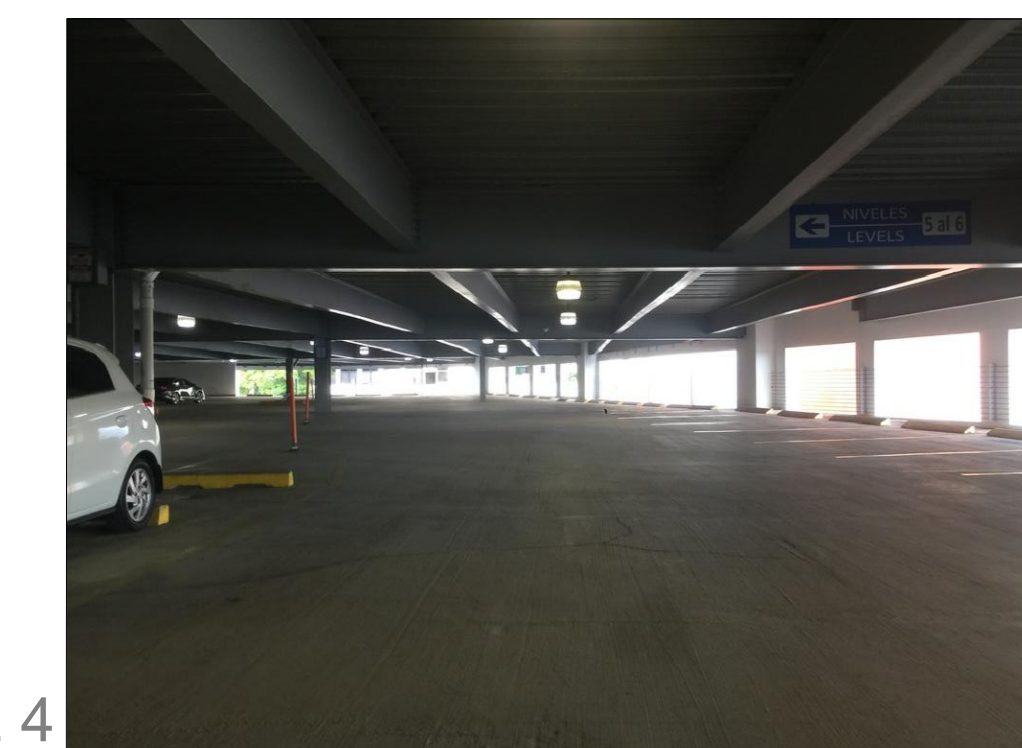


IMAGE 4
EXISTING TYPICAL PARKING AREA

ADDRESS

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REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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SIGNATURE



FILE

Dwg Name: WEL504g
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

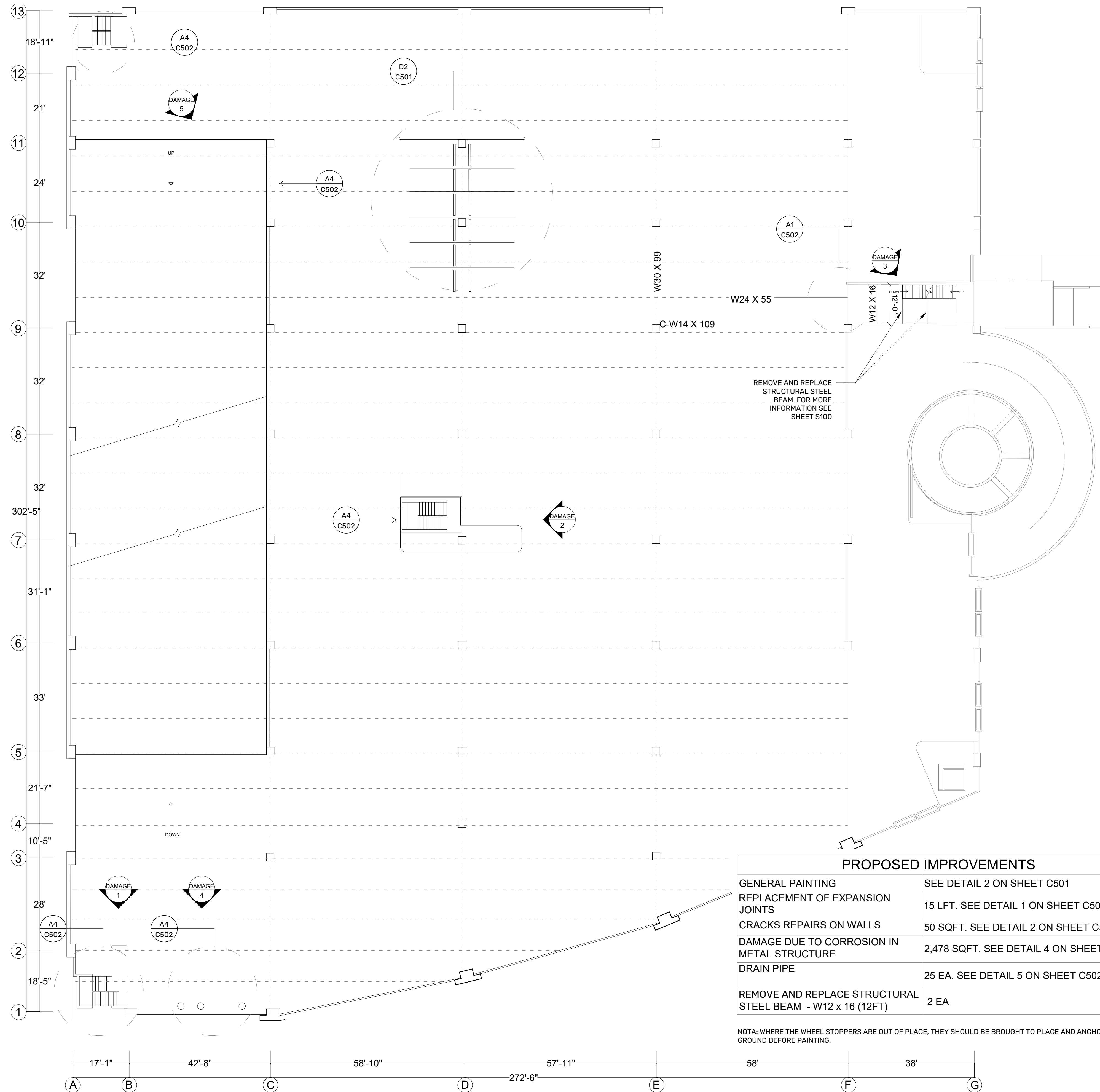
PARKING AS-BUILT-FIFTH LEVEL

DRAWING NO.

C-104

PAGE: 18/30

FIFTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



PROPOSED IMPROVEMENTS	
GENERAL PAINTING	SEE DETAIL 2 ON SHEET C501
REPLACEMENT OF EXPANSION JOINTS	15 LFT. SEE DETAIL 1 ON SHEET C502
CRACKS REPAIRS ON WALLS	50 SQFT. SEE DETAIL 2 ON SHEET C502
DAMAGE DUE TO CORROSION IN METAL STRUCTURE	2,478 SQFT. SEE DETAIL 4 ON SHEET C502
DRAIN PIPE	25 EA. SEE DETAIL 5 ON SHEET C502
REMOVE AND REPLACE STRUCTURAL STEEL BEAM - W12 x 16 (12FT)	2 EA

NOTA: WHERE THE WHEEL STOPPERS ARE OUT OF PLACE, THEY SHOULD BE BROUGHT TO PLACE AND ANCHORED TO THE GROUND BEFORE PAINTING.

PROPOSED IMPROVEMENTS_FIFTH LEVEL

SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION



DAMAGE 1

CORROSION OF ANGLES AT BUILDING PERIMETER AND FIRE SYSTEM PIPE LINE.



DAMAGE 2

CORROSION BETWEEN BEAM AND METAL DECK SUPPORT. CENTER STAIR



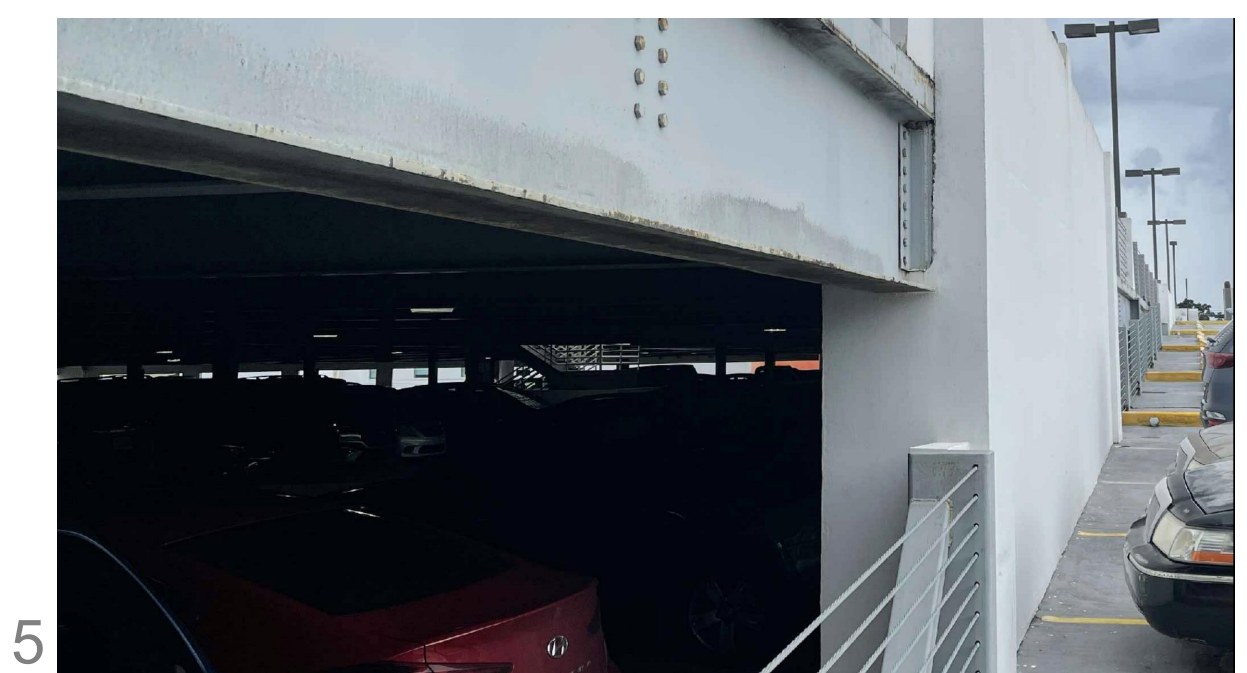
DAMAGE 3

BEAM CORROSION, IN THE BRIDGE AREA BETWEEN BUILDINGS, THE REPLACEMENT OF THESE IS RECOMMENDED.



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

TYPICAL CORROSION DAMAGE ON EXTERIOR SIDE OF BEAMS.

ADDRESS

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REV. DATE DESCRIPTION BY CHK'D

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FILE

Dwg Name: WEL51ng
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Meléndez Rívos, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

IMPROVEMENTS TO THE 5TH FLOOR

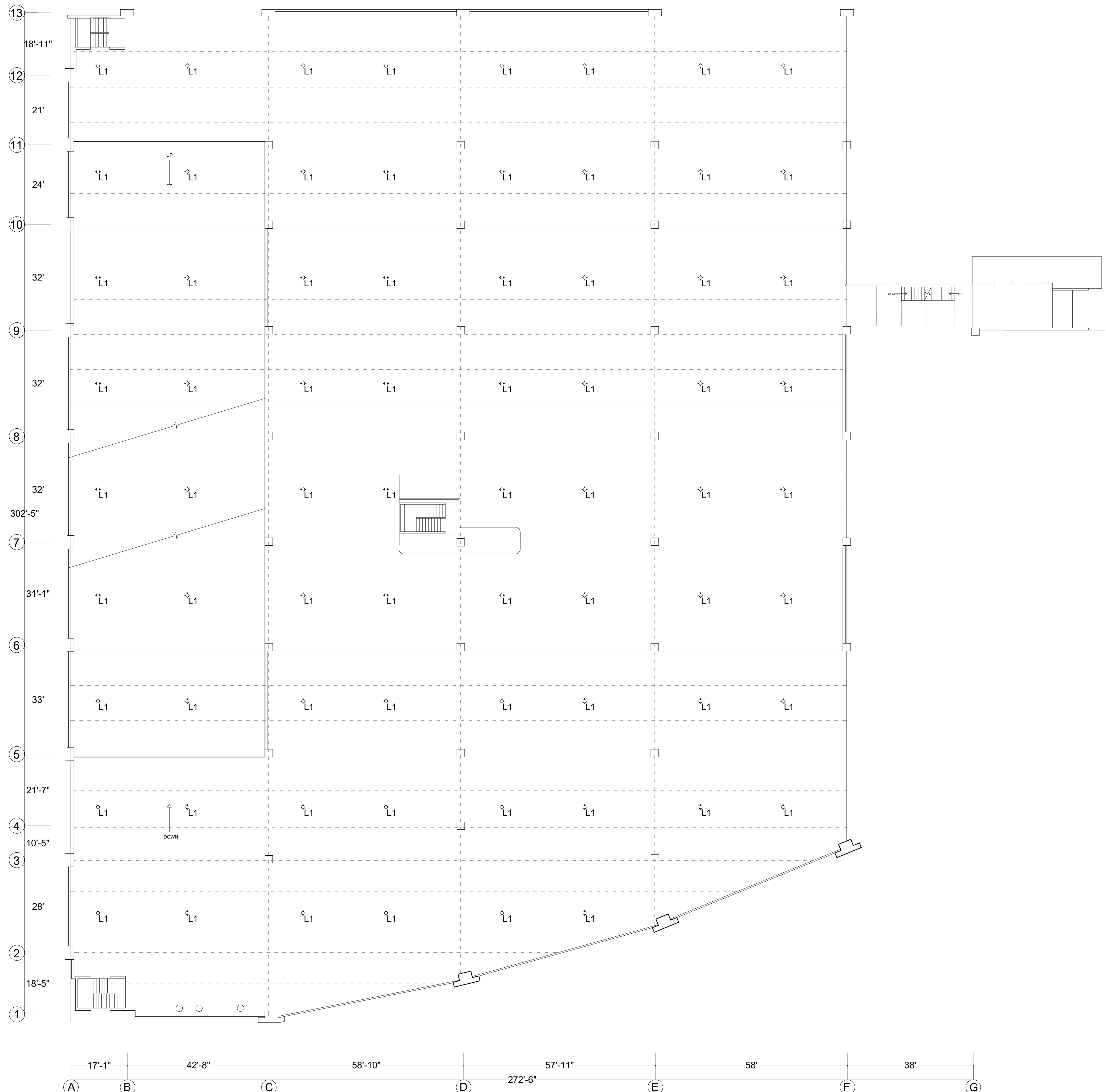
DRAWING NO.

A-104

PAGE:

19/30

FIFTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	70	EXISTING LIGHTING

GENERAL NOTES

- LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
- THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
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REV. DATE DESCRIPTION BY CHK'D

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SIGNATURE



FILE

Dwg Name: IMEL5.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

EXISTING LIGHTING-FIFTH LEVEL

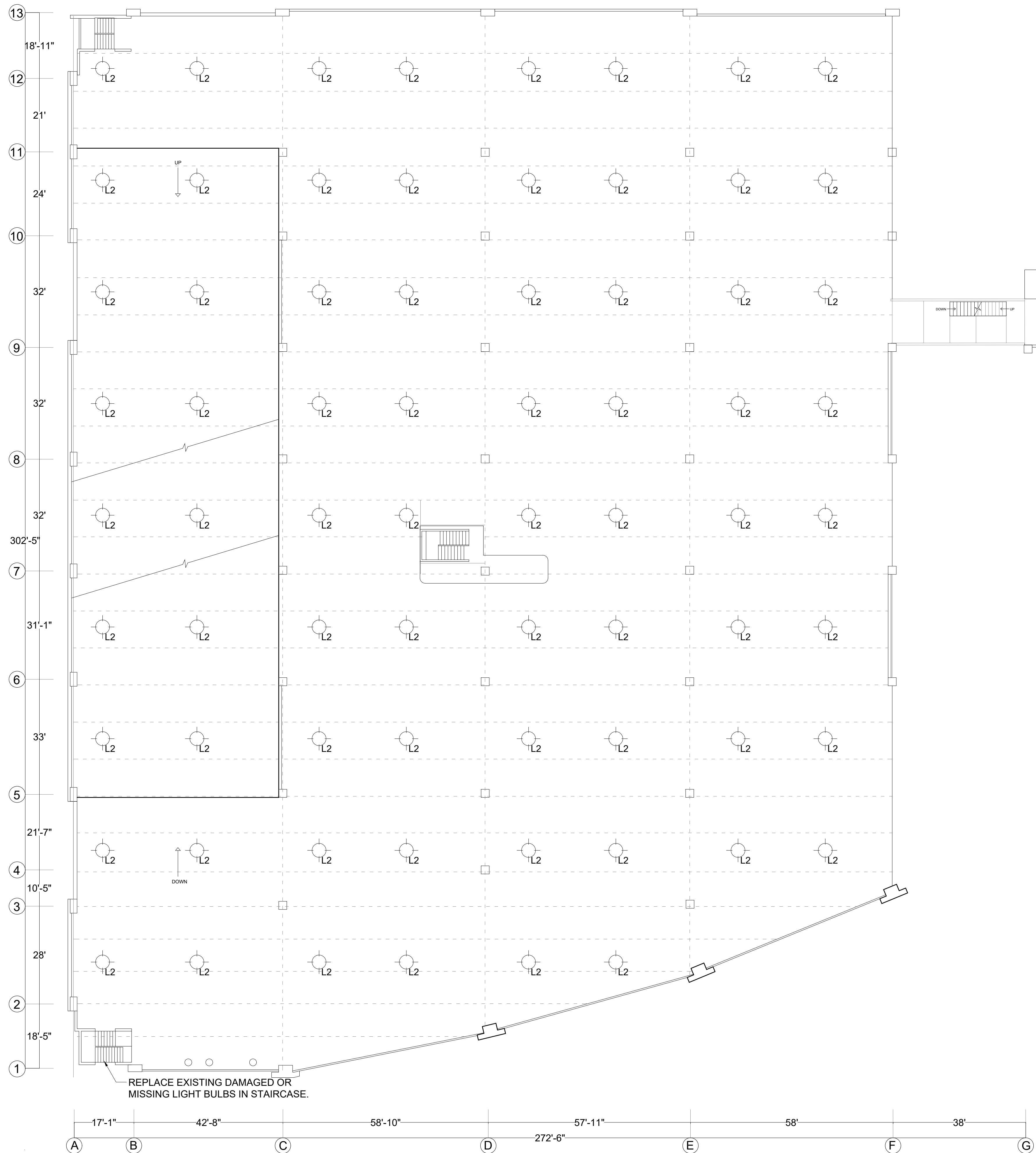
DRAWING NO.

E-108

EXISTING LIGHTING_FIFTH LEVEL

SCALE: 1/16" = 1' - 0"

FIFTH LEVEL PROPOSED LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	70	SYLVANIA LUMINAIRE, ValueLED Garage, IP65-CCT 4000K, 10" diam, round / 40 Watts / COLOR WHITE

ADDRESS
268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER
PODER JUDICIAL

REGISTER NO.
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D
..

IMPORTANT NOTES TO THE CONTRACTOR:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK.
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LIGHTING SCHEDULE

SYLVANIA Luminaires
ValueLED™ Garage

Application
The Garage luminaires are environmentally preferable LED alternatives to traditional HID luminaires, offering up to 81% in energy savings. Ideal in place of traditional luminaires, or as new installations, the ValueLED Garage series is offered in three wattage/lumen packages for use in garages, campuses, and mid bay general lighting.

Benefits and Features

- IP65 rated body with polycarbonate lens offers easy mounting, reducing installation and maintenance costs.
- High color rendering and DLC Premium listing ensure energy efficiency and provide uniform and even lighting.
- Up to 141 LPM
- CCT Selectable (3000K, 4000K, or 5000K) enabled through switch located inside fixture.
- CR = 80
- Offered in 25, 40, and 55 watts
- Type V distribution
- Energy savings up to 88%

Electrical

- 120-277VAC
- Power Factor >90%
- THD <20%
- Continuous 0-10V dimmable down to 10%
- Constant current LED driver with 10kV surge suppression

Rated Life

- 125,000 hours (L₅₀) @25°C

Warranty

- 5-year
- NLB Trusted Warranty Program

Ambient Operating Range

- 22°F to +113°F (-30°C to +45°C)

Certifications and Listings

- cULus listed to UL 1598 standards, wet location
- RohS
- FCC/ICES
- DLC 5.1 Premium

Installation

- Easy installation directly to 3/4" pipe or back plate to junction box

Wattage Comparison

Traditional Source	Traditional System Wattage	LED System Wattage	Energy Savings
150W HPS	150	25	83%
150W MFL	150	25	83%
150W MH	150	25	83%
100W HPS	100	15	85%
100W MFL	100	15	85%
100W MH	100	15	85%
75W HPS	75	10	87%
75W MFL	75	10	87%
75W MH	75	10	87%
50W HPS	50	7	86%
50W MFL	50	7	86%
50W MH	50	7	86%
35W HPS	35	5	86%
35W MFL	35	5	86%
35W MH	35	5	86%
25W HPS	25	4	84%
25W MFL	25	4	84%
25W MH	25	4	84%

PRODUCT DESCRIPTION

Photometric Data

GARAG2A/025UNVDS5CZ/10R5 Isofootcandle Lines at 12' Mounting Height

GARAG2A/040UNVDS5CZ/10R5 Isofootcandle Lines at 12' Mounting Height

GARAG2A/055UNVDS5CZ/10R5 Isofootcandle Lines at 12' Mounting Height

For other mounting heights apply the following multipliers:

Mounting Height	8'	10'	12'	15'	18'
Multiplier	2.25	1.44	1.00	0.64	0.44

Physical Information

Luminaire Description	Diameter	Height
Garage Luminaire	10" (254mm)	3.1" (78.7mm)

CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE (LAW NO. 338 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE). I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE STATE.

IPG INGENIUM PROFESSIONAL GROUP PSC

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Tel. (787) 918-5890 / 5891
Email: info@ingenium.group

SIGNATURE

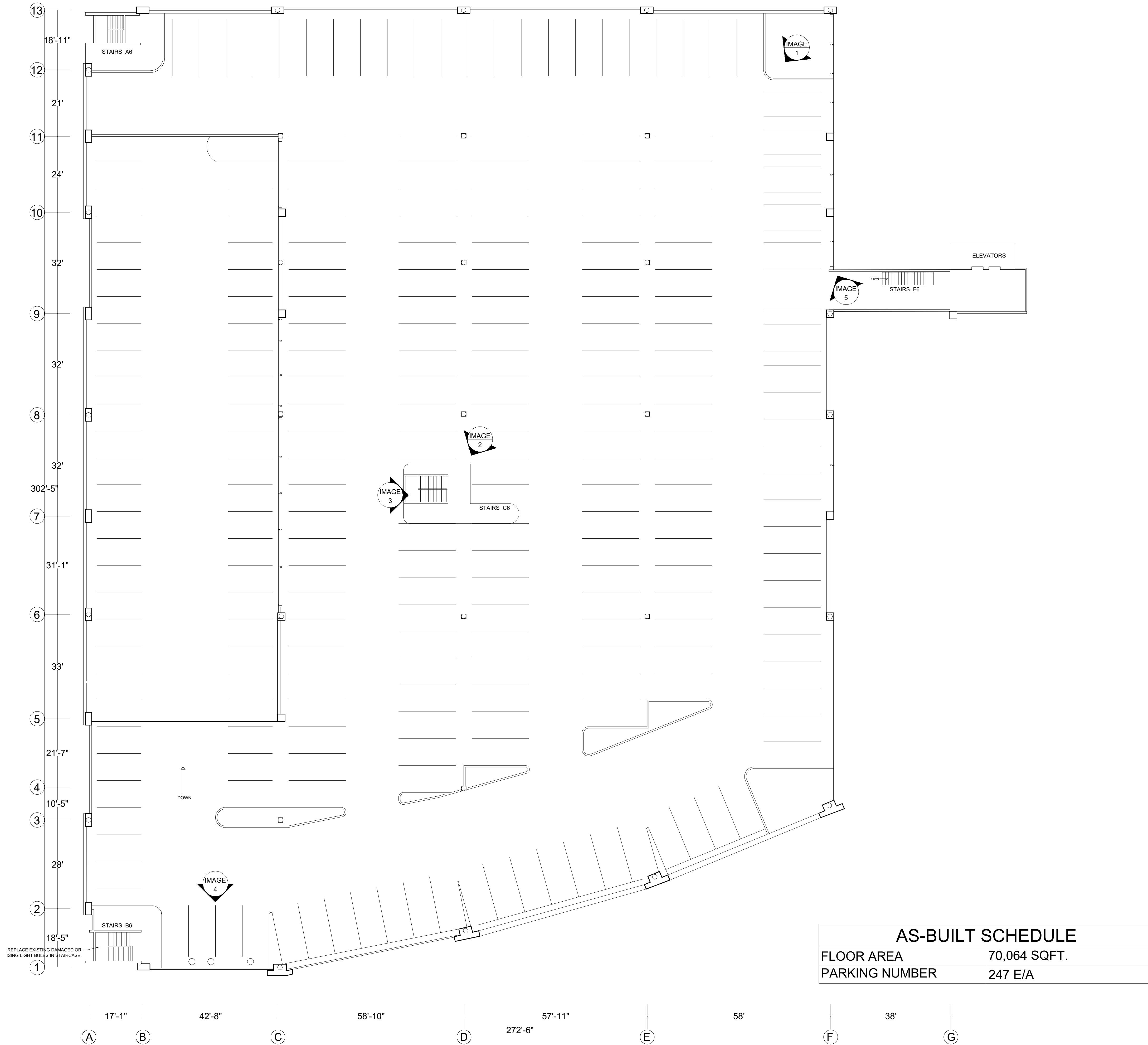
FILE
Dwg Name: N165.5.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP,PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE
PROPOSED LIGHTING IMPROVEMENTS -FIFTH LEVEL

DRAWING NO.
E-109

PROPOSED LIGHTING IMPROVEMENTS_FIFTH LEVEL

SCALE: 1/16" = 1' - 0"



AS-BUILT SCHEDULE	
FLOOR AREA	70,064 SQFT.
PARKING NUMBER	247 E/A

PHOTO DOCUMENTATION

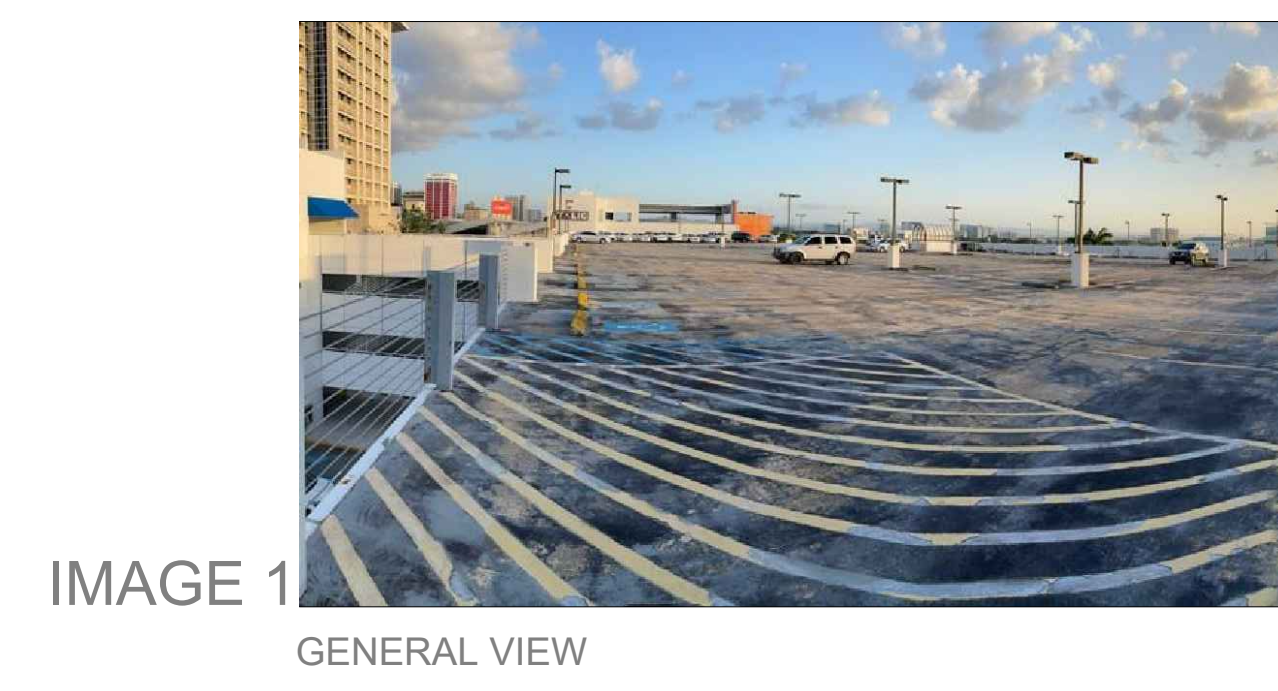


IMAGE 1
GENERAL VIEW



IMAGE 2
EXISTING CENTRAL ACCESS STAIRS LEVEL 6



IMAGE 3
EXISTING CORRODED STEEL



IMAGE 4
EXISTING JOINT BETWEEN CONCRETE TILE AND THE GENERATOR EXHAUST SYSTEM

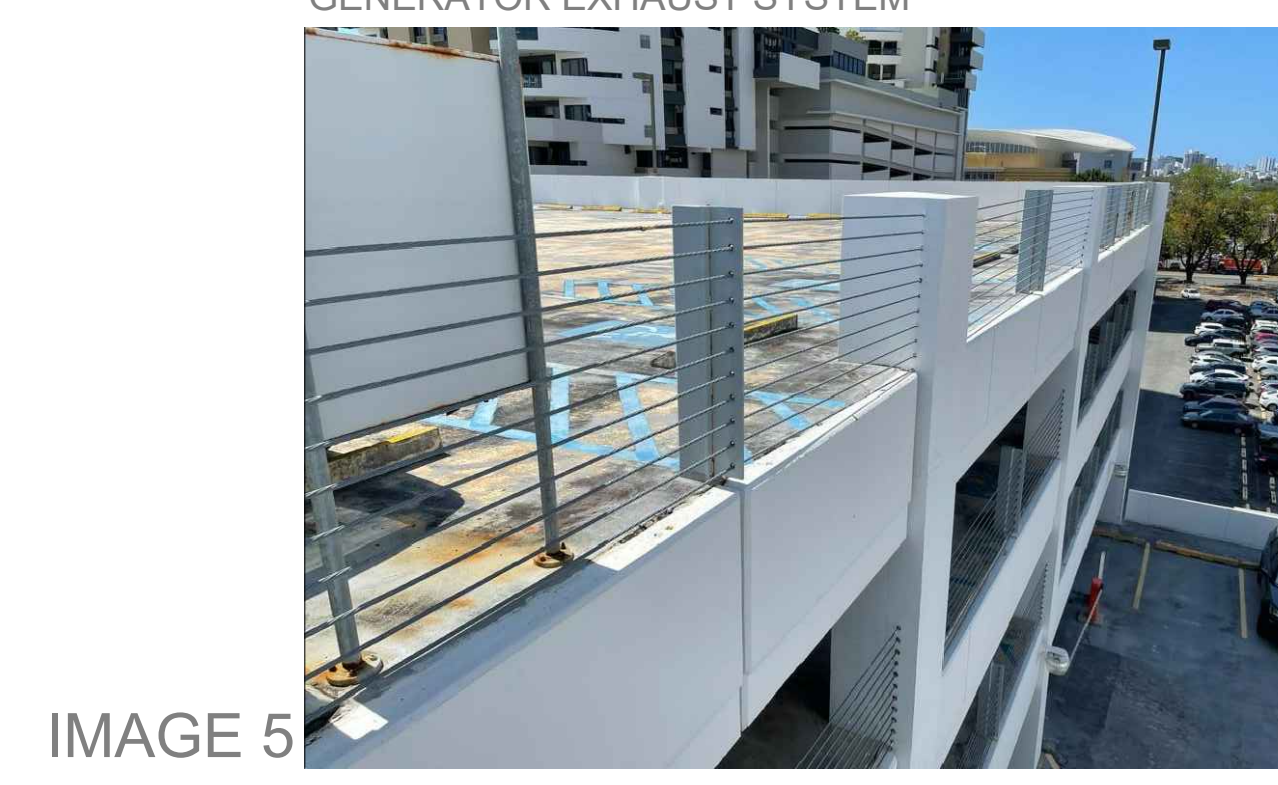


IMAGE 5
EXISTING FLASHING

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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CERTIFICATION

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Email: info@ingeniumgroup.com

SIGNATURE



FILE

Dwg Name: NIEL.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

PARKING AS-BUILT-SIXTH LEVEL

DRAWING NO.

C-105

SIXTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



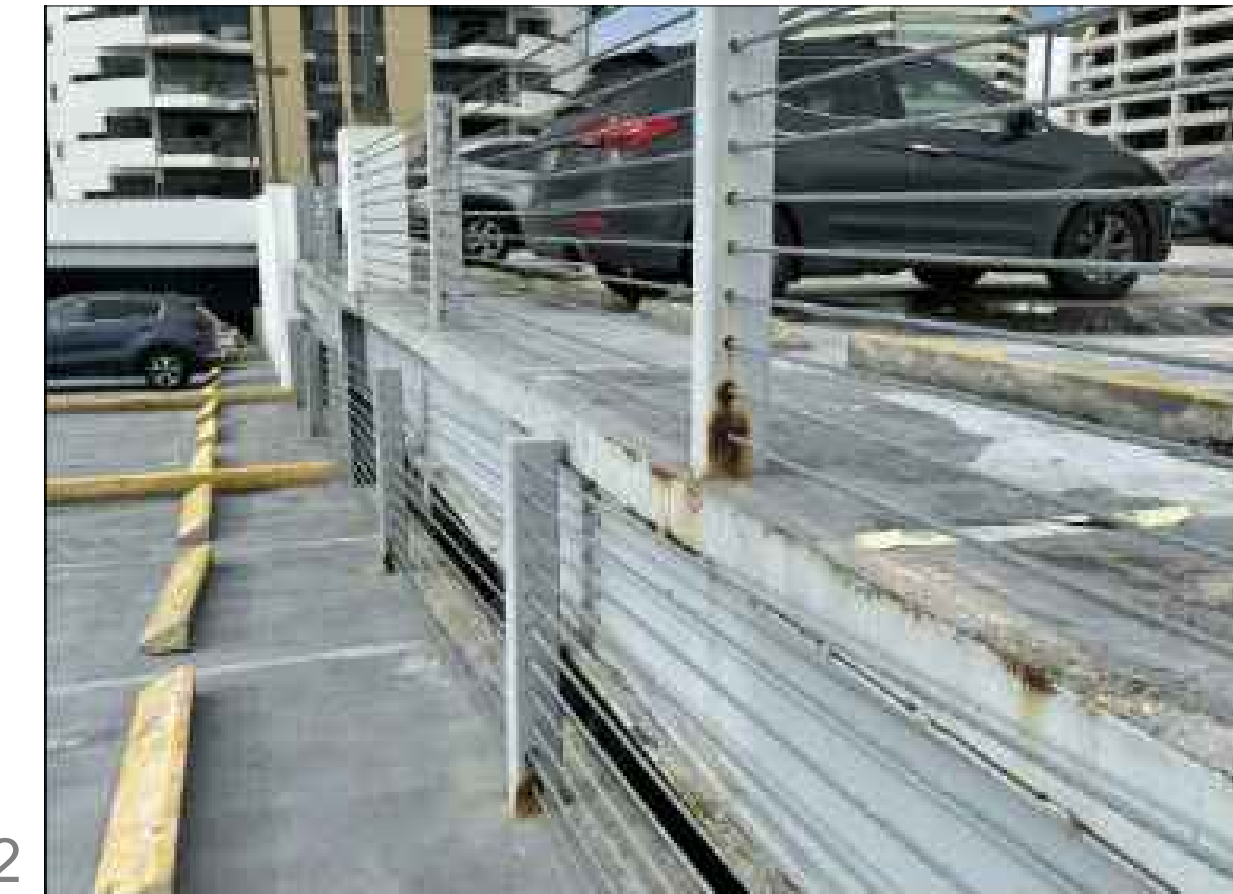
PROPOSED IMPROVEMENTS_SIXTH LEVEL

SCALE: 1/16" = 1' - 0"

PHOTO DOCUMENTATION



SIXTH FLOOR GENERAL VIEW



EXISTING FLOOR CRACKS



EXISTING CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE

DAMAGE 1

DAMAGE 2

DAMAGE 3

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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Plaza, San Juan, PR 00738
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Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: WEL.dwg
Drawn by: INGENIUM PROFESSIONAL GROUP, PBC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Oct 03, 2024

TITLE

IMPROVEMENTS TO THE 6TH FLOOR

DRAWING NO.

A-105

NOTA: WHERE THE WHEEL STOPPERS ARE OUT OF PLACE, THEY SHOULD BE BROUGHT TO PLACE AND ANCHORED TO THE GROUND BEFORE PAINTING.

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

--- -- -- -- --

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CERTIFICATION

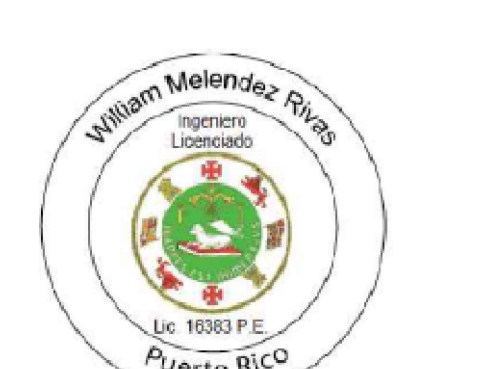
I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (DRAWE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JUDICIAL REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 34-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE (LAW NO. 389 OF MAY 15, 1938, AS AMENDED; ACT NO. 36 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE.)

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INGENIUM PROFESSIONAL GROUP PBC

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SIGNATURE



FILE

Dwg Name: INTL 61ng

Drawn by: INGENIUM PROFESSIONAL GROUP, PBC

Revised by: Eng. W. Melendez Rivas, #16383

Plot Scale:

Progress Print: Sep 27, 2024

FILE

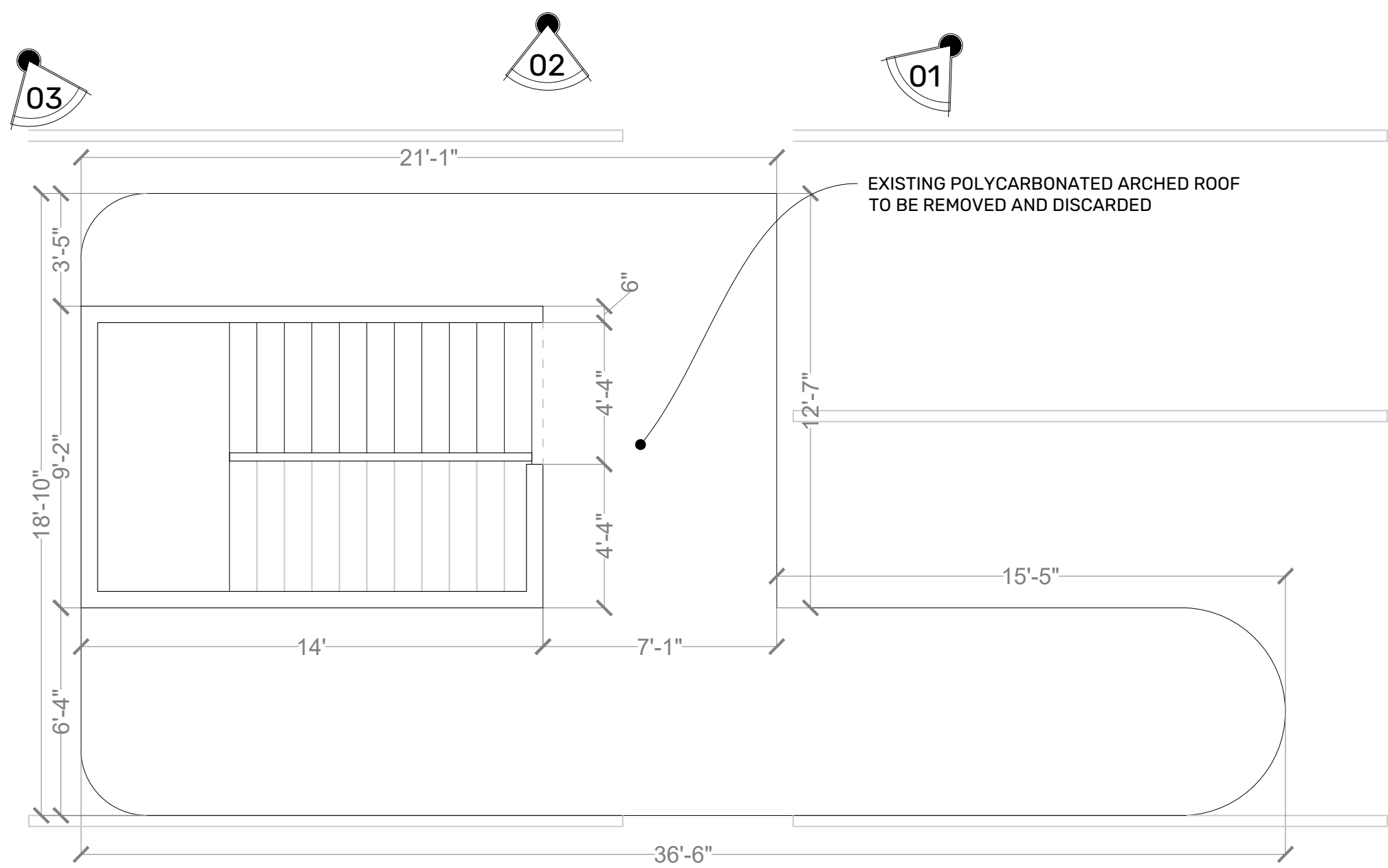
TITLE

CANOPY EXTERIOR STAIRS

DRAWING NO.

A-106

PAGE: 24/30



EXISTING EXTERIOR STAIRS - PLAN VIEW

SCALE: 1/4" = 1' - 0"



IMAGE 1



IMAGE 2

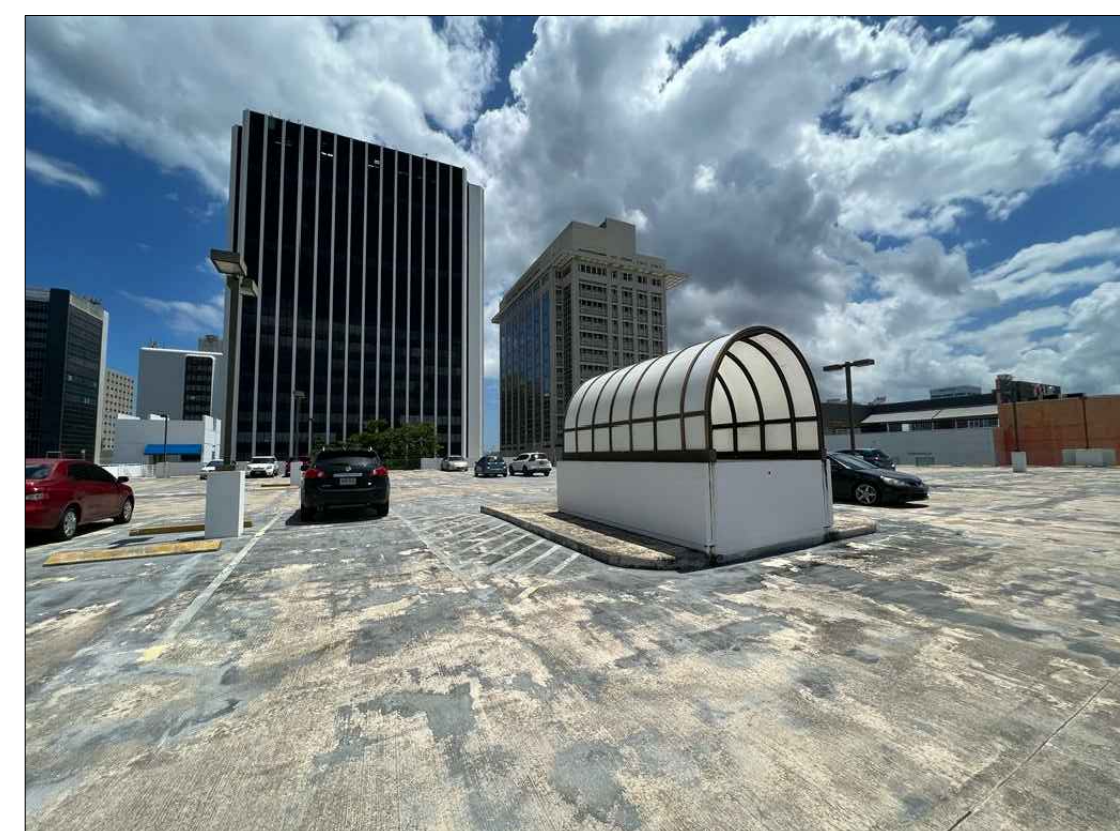
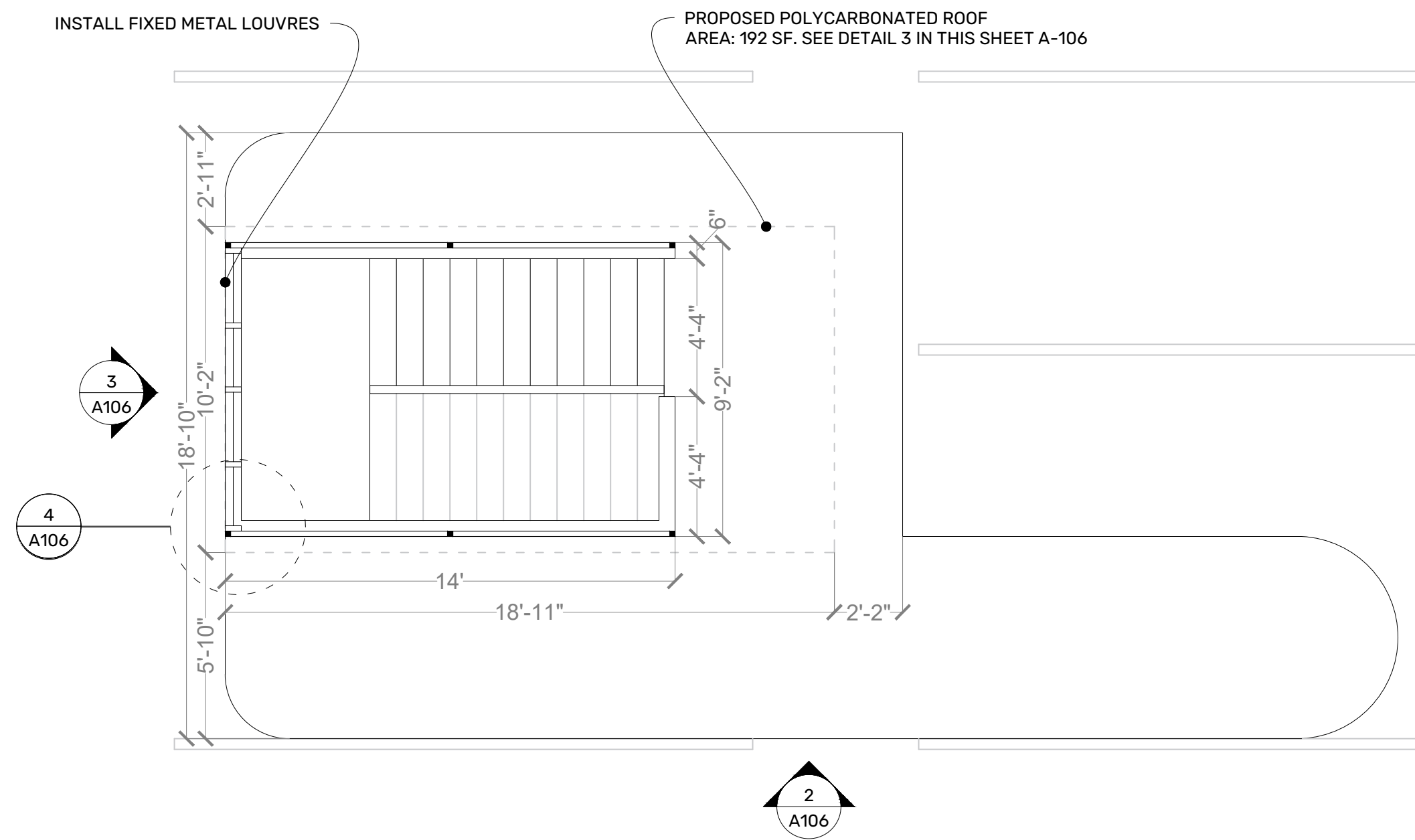


IMAGE 3

EXISTING CONDITION OF STAIRS AND ROOF
PROPOSAL-SIXTH LEVEL

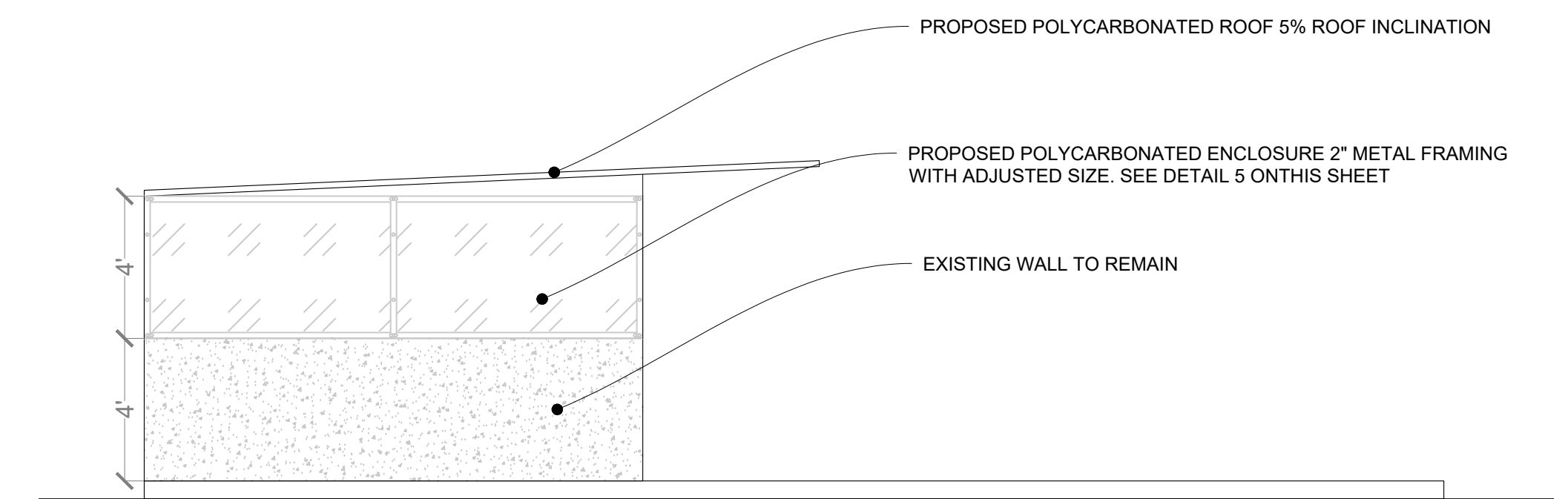
SCALE: 1/16" = 1' - 0"

IMPORTANT NOTE: THE DRAWINGS PRESENTED ON THIS SHEET ARE SCHEMATIC. CONTRACTOR SHALL SUBMIT DRAWINGS OF THE 6TH LEVEL CEILING DESIGN TO THE DESIGNER SHOP FOR FINAL APPROVAL.



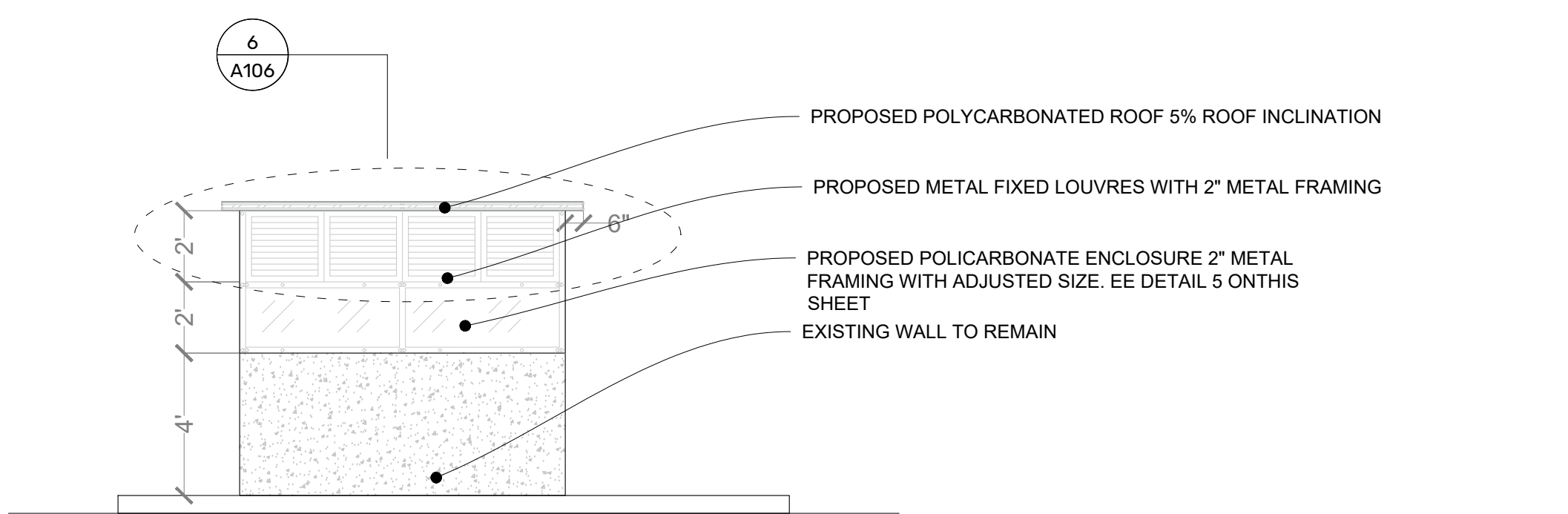
1 PROPOSAL - PLAN VIEW

SCALE: 1/4" = 1' - 0"



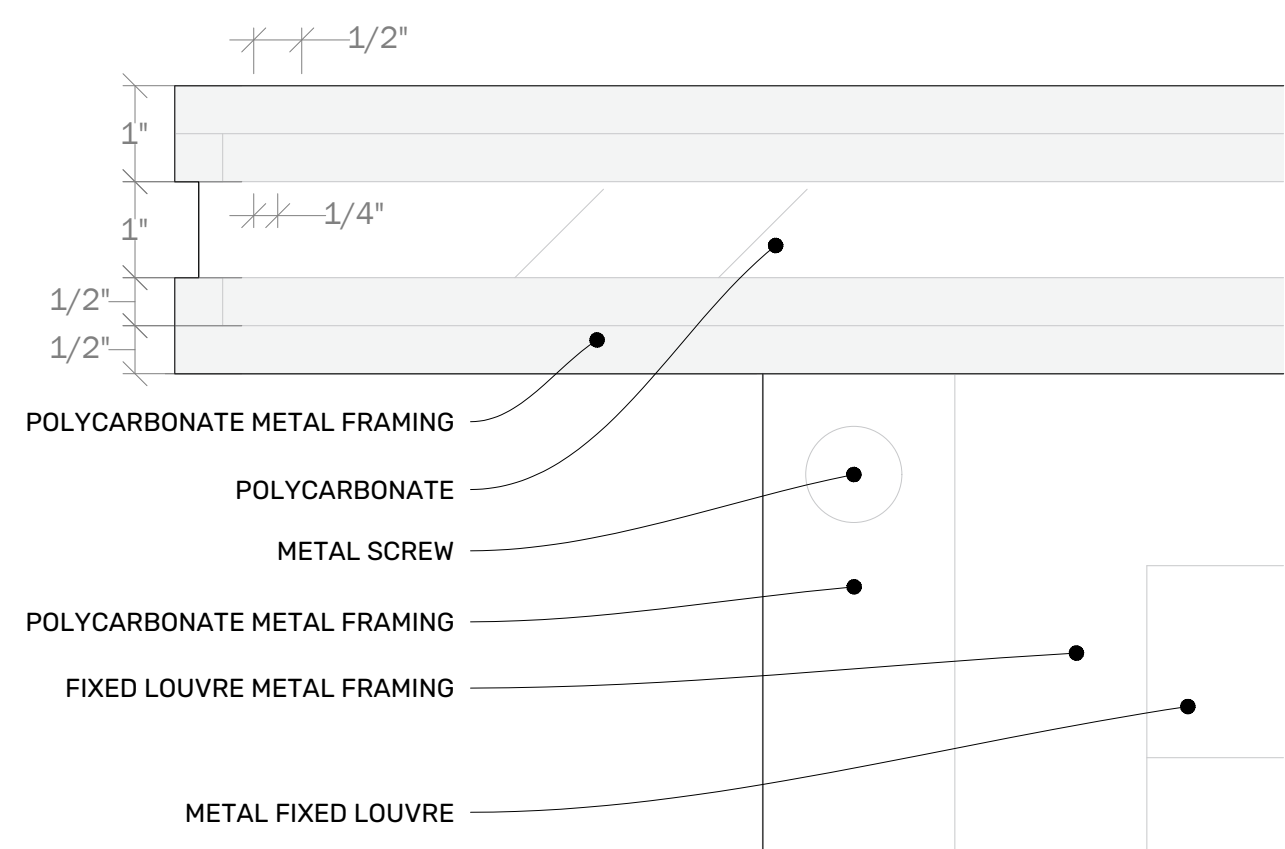
2 PROPOSAL - ELEVATION

SCALE: 1/4" = 1' - 0"



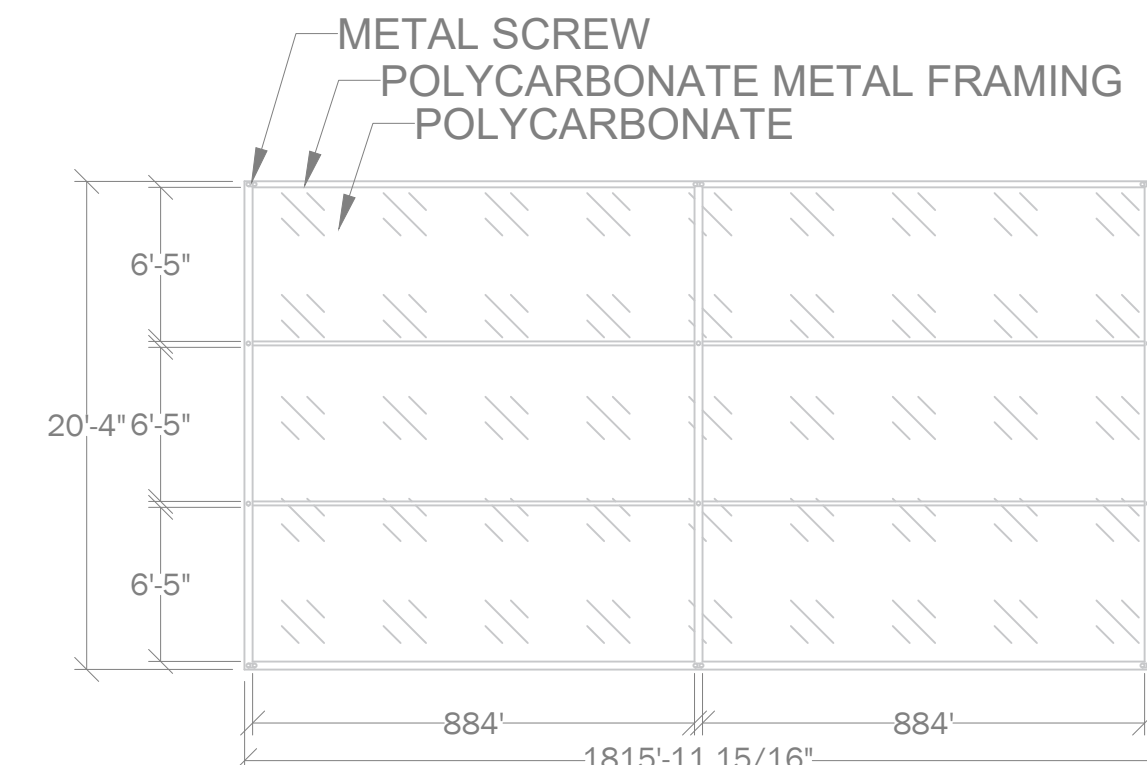
3 PROPOSAL - ELEVATION

SCALE: 1/4" = 1' - 0"



4 DETAIL

SCALE: 1/4" = 1' - 0"



5 DETAIL

SCALE: 1/4" = 1' - 0"



6 DETAIL- METAL FIXED LOUVRES

SCALE: 1/4" = 1' - 0"

SIXTH LEVEL EXISTING LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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CERTIFICATION

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SIGNATURE



FILE

Dwg Name: WEL64g
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

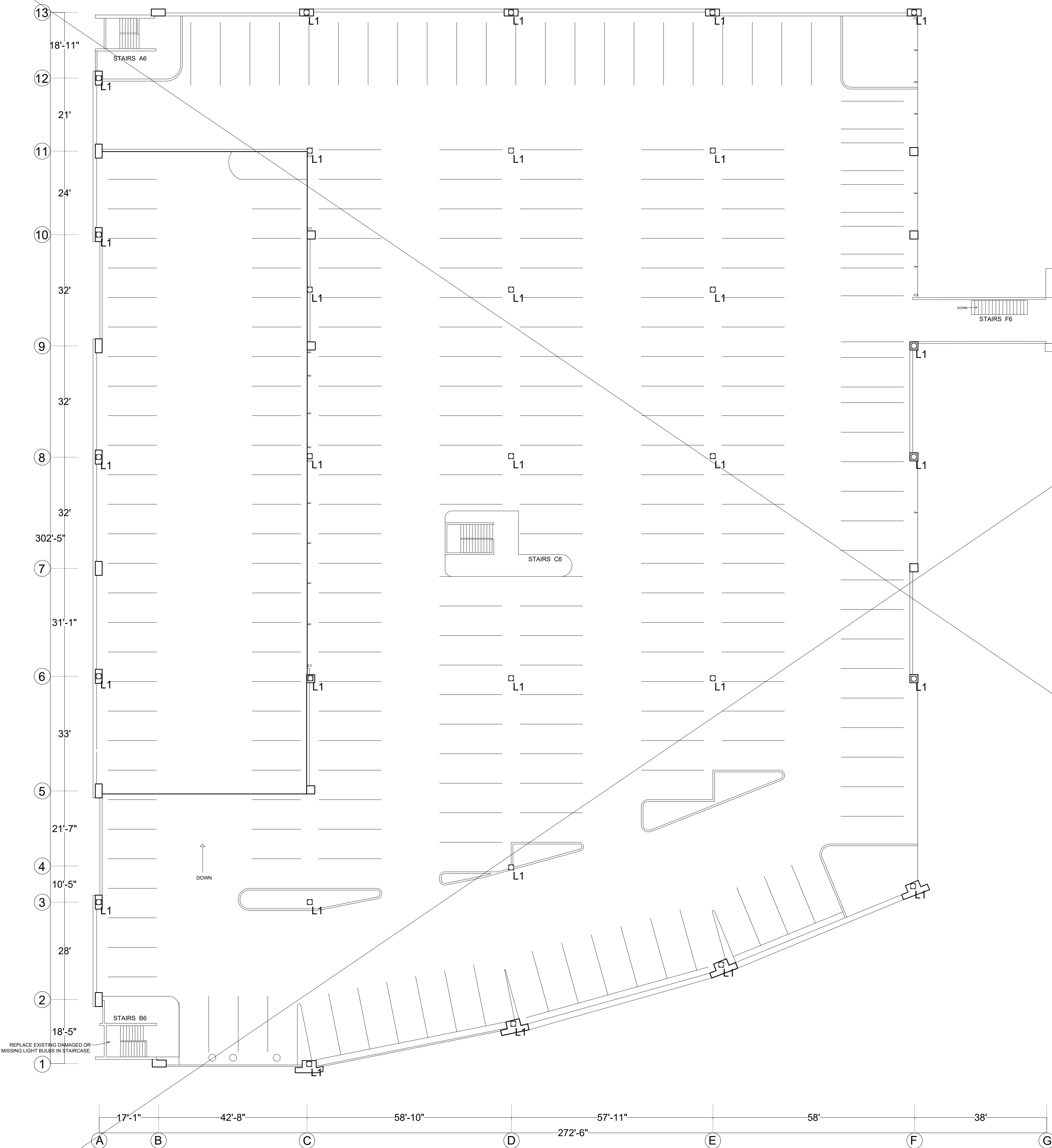
TITLE

EXISTING LIGHTING-SIXTH LEVEL

DRAWING NO.

E-110

PAGE: 25/30



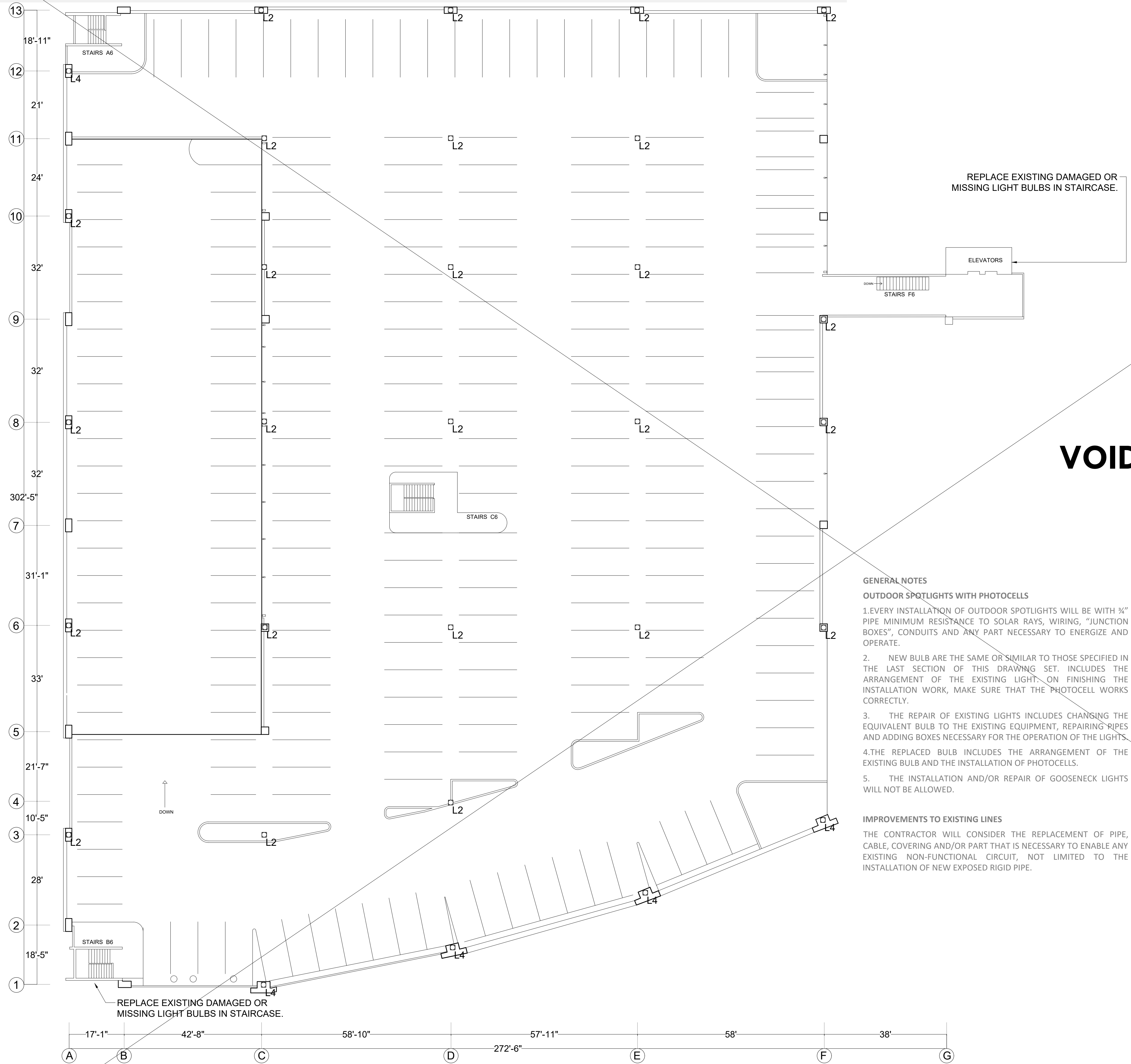
LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	EXISTING LIGHTING	30	EXISTING LIGHTING

VOID

EXISTING LIGHTING-BUILT_SIXTH LEVEL

SCALE: 1/16" = 1' - 0"

SIXTH LEVEL PROPOSED LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	30	EXISTING LIGHTING
L2	PROPOSED LIGHTING	30	KAX LED SIZE 1 LED AREA LUMINAIRE

ADDRESS
268 AVE. MUÑOZ RIVERA
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0 6 3 - 0 3 1 - 6 3 9 - 0 2

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CERTIFICATION
I, WILLIAM MELÉNDEZ RIVERA, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE APPLICABLE REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE LAW NO. 318 OF MAY 15, 1988, AS AMENDED; ACT NO. 95 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR RECKLESSNESS EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE STATE.

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SIGNATURE



FILE
Dwg Name: N6L04g
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Meléndez Rivera, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

PROPOSED LIGHTING IMPROVEMENTS-SIXTH LEVEL

DRAWING NO.
E-111

PAGE: 26/30

REPLACE EXISTING DAMAGED OR MISSING LIGHT BULBS IN STAIRCASE.

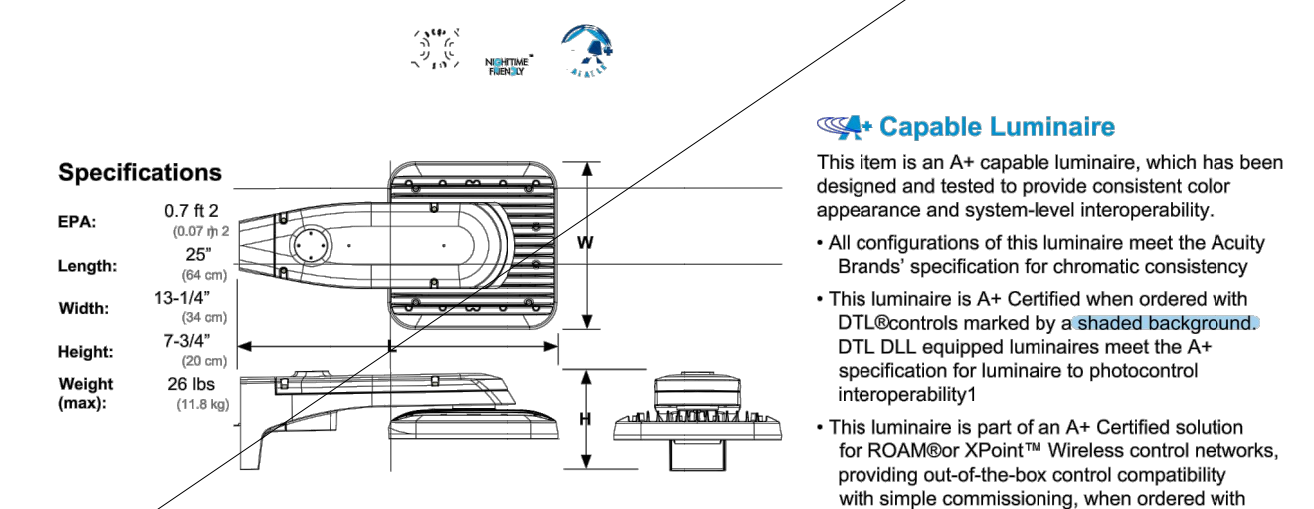
ELEVATORS

GENERAL NOTES
OUTDOOR SPOTLIGHTS WITH PHOTOCELLS
1. EVERY INSTALLATION OF OUTDOOR SPOTLIGHTS WILL BE WITH 3/4" PIPE MINIMUM RESISTANCE TO SOLAR RAYS, WIRING, "JUNCTION BOXES", CONDUITS AND ANY PART NECESSARY TO ENERGIZE AND OPERATE.
2. NEW BULB ARE THE SAME OR SIMILAR TO THOSE SPECIFIED IN THE LAST SECTION OF THIS DRAWING SET. INCLUDES THE ARRANGEMENT OF THE EXISTING LIGHT. ON FINISHING THE INSTALLATION WORK, MAKE SURE THAT THE PHOTOCELL WORKS CORRECTLY.
3. THE REPAIR OF EXISTING LIGHTS INCLUDES CHANGING THE EQUIVALENT BULB TO THE EXISTING EQUIPMENT, REPAIRING PIPES AND ADDING BOXES NECESSARY FOR THE OPERATION OF THE LIGHTS.
4. THE REPLACED BULB INCLUDES THE ARRANGEMENT OF THE EXISTING BULB AND THE INSTALLATION OF PHOTOCELLS.
5. THE INSTALLATION AND/OR REPAIR OF GOOSENECK LIGHTS WILL NOT BE ALLOWED.

IMPROVEMENTS TO EXISTING LINES
THE CONTRACTOR WILL CONSIDER THE REPLACEMENT OF PIPE, CABLE, COVERING AND/OR PART THAT IS NECESSARY TO ENABLE ANY EXISTING NON-FUNCTIONAL CIRCUIT, NOT LIMITED TO THE INSTALLATION OF NEW EXPOSED RIGID PIPE.

VOID

KAX LED Size 1 LED Area Luminaire



Specifications
EPA: 0.7 ft 2
Length: 25"
Width: 13-1/4"
Height: 7-3/4"
Weight: 26 lbs

Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
This luminaire is A+ Certified when ordered with DTL@controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocell interoperability!
This luminaire is part of an A+ Certified solution for ROAM@Xpress™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background!

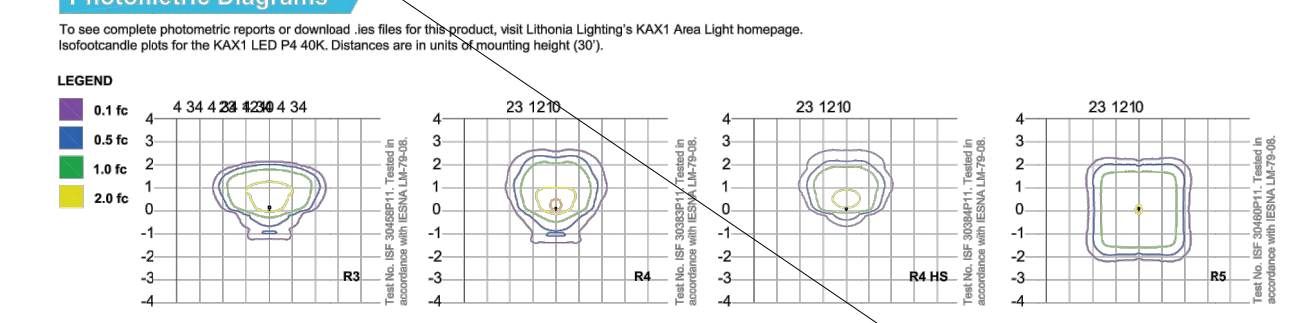
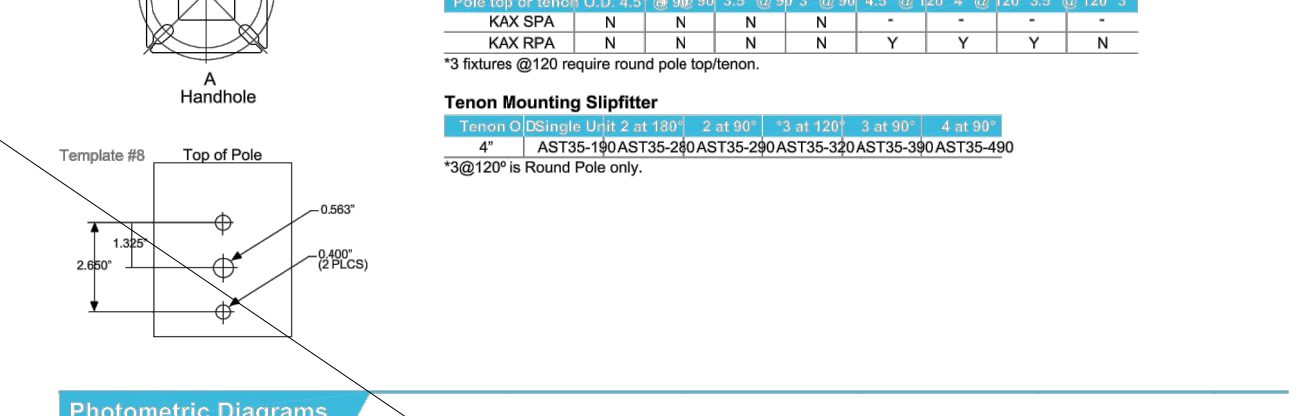
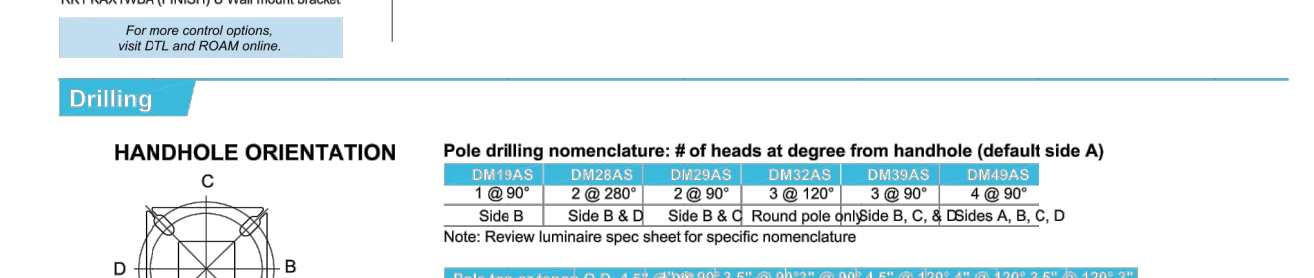
Ordering Information
EXAMPLE: KAX1 LED P4 40K R3 MVOLT SPA DBBXD

Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
KAX1 LED	P1	30K 3000 K	R3 Type 3	0/0/1	Shipped included SPA Square pole mounting RPA Round pole mounting (includes round and square mount)
	P2	40K 4000 K	R4 Type 4	0/0/1	
	P3	50K 5000 K	R5 Type 5	0/0/1	
	P4			0/0/1	

Control options	Other options	Finish options
Shipped installed PER NEMA fast-lock receptacle only (Controls order separate) 4.5.6 PER5 Five-wire receptacle only (Controls order separate) 4.5.6 PER7 Seven-wire receptacle only (Controls order separate) 4.5.6 PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5ft 7.8 PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1ft 7.8 PIRHFC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1ft 7.8 Field adjustable output 9 PIRHFC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1ft 7.8	Shipped installed HS House-side shield 10 SF Single fuse (120, 277, 347V) 2 DF Double fuse (208, 240, 480V) 3 TILT Tilt arm BS Shipped separately BS Blind spikes 10 EGS External glare shield 10	DBBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DBTDXD Textured dark bronze DBLXKD Textured black DNATXKD Textured natural aluminum DWHXKD Textured white

Ordering Information Cont.
Accessories
M16VOLT driver operates on any line voltage from 120-277V (50/60Hz).
2 Head evenly 20, 277 or 347V when ordering DF option.
4 Max. ampacity 200, 240, or 480V when ordering DF option.
5 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories: Shading Cap included.
6 RPA (Round Pole) required. It must be ordered and shipped as a separate line item from Acuity Brands Controls. Shading Cap included.
7 Reference Motion Sensor Table on page 3.
8 Not available with other controls option.
9 Also available as a separate accessory, see Accessories information.
11 Requires luminaire to be specified with PER option. See PER Table on page 3.
12 For use with 3-3/8" head arm (not included).

Drilling
HANDHOLE ORIENTATION
Pole drilling nomenclature: # of heads at degree from handhole (default side A)
1 0 100° 2 0 200° 2 0 90° 3 0 120° 3 0 90° 4 0 90°
Side B Side B & C Side B & C Round pole profile B, C, & D (Sides A, B, C, D)
Note: Review luminaire spec sheet for specific nomenclature.
Tension Mounting Slipfitter
Sides D (Sides A, B, C or E) 3 or 90° 3 or 120° 3 or 90° 4 or 90°
ASTM A153-16ASTM A153-20ASTM A153-20ASTM A153-20ASTM A153-20
1/2" 120° B Round Pole only.



LEGEND
0.5 ft 4 34 4 28 4 28 4 34
0.5 ft 3
1.0 ft 2
1.5 ft 2
2.0 ft 2

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com
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PROPOSED LIGHTING IMPROVEMENTS_SIXTH LEVEL

SCALE: 1/16" = 1' - 0"

ADDRESS
268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER
PODER JUDICIAL

REGISTER NO.
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE	DESCRIPTION	BY	CHK'D
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IMPORTANT NOTES TO THE CONTRACTOR:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED. SO THAT PROPER CORRECTIONS ARE MADE, IF ENGINEER IS NOT NOTIFIED PRIOR TO C O M M E N C I N G O F T H E W O R K .
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR USED AT ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH T H E Y E X P R E S S L Y D E S I G N E D .
IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL C O M M I S S I O N .
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SIGNATURE

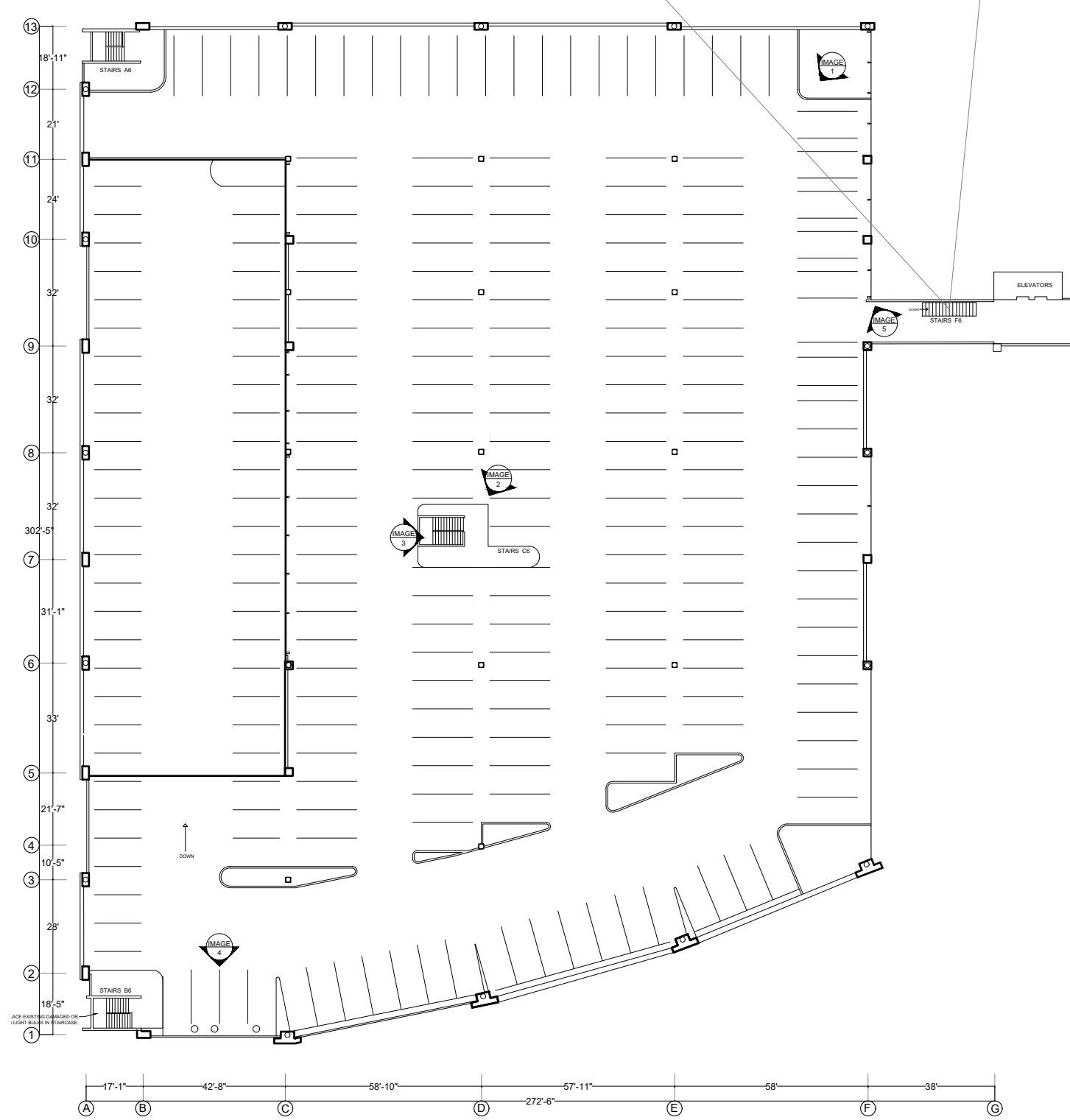
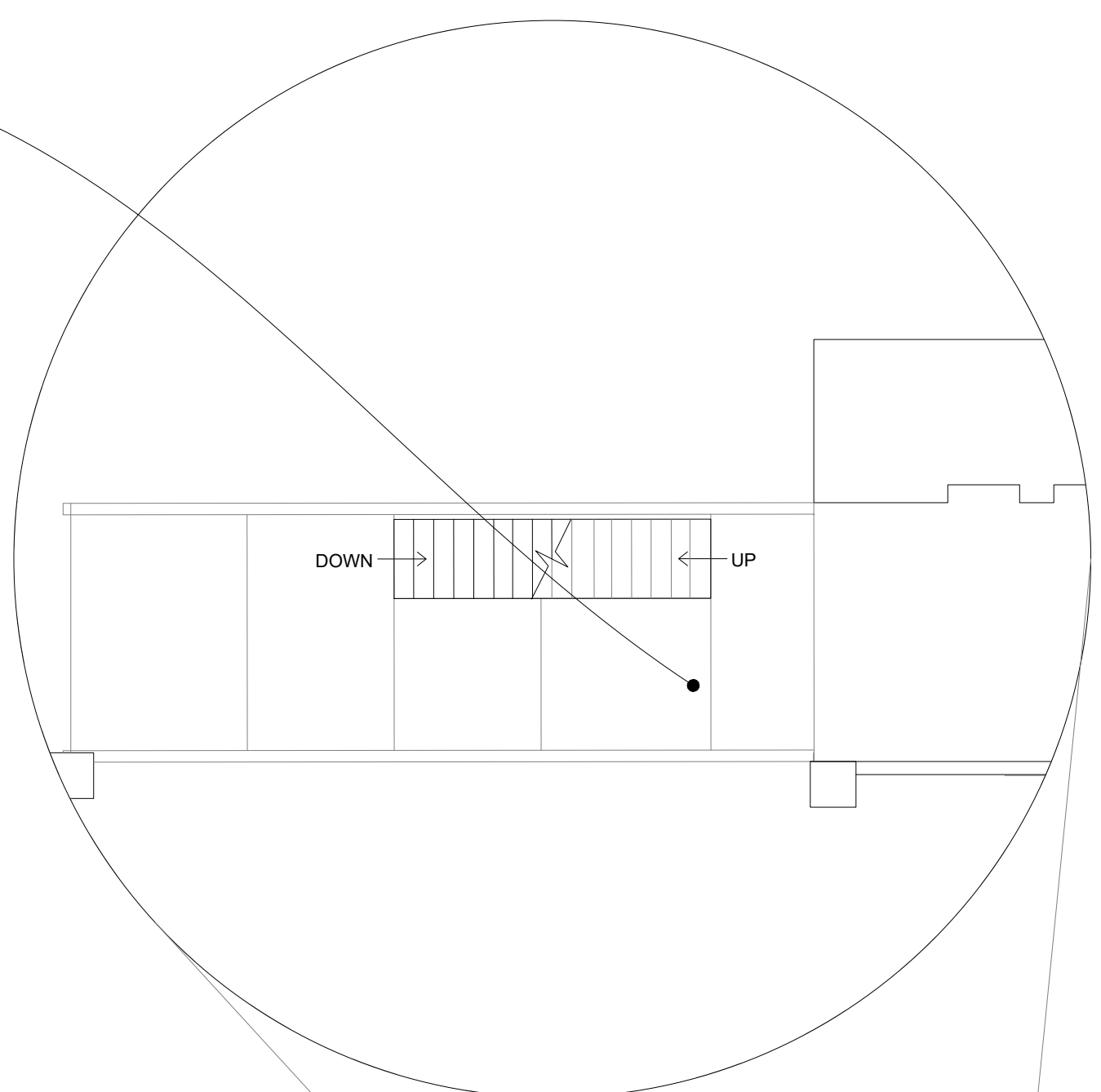

FILE
Dwg Name: WEL64a
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Reviewed by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE
STRUCTURAL DETAILS

DRAWING NO.
S-100

PAGE: 27/30

CONTRACTOR MUST REPLACE TWO W12 x 16 EXISTING STEEL BEAM, (APPROXIMATELY 12 FT LONG) ON 4TH & 5TH LEVEL (Total = 4Ea). CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR FINAL APPROVAL.



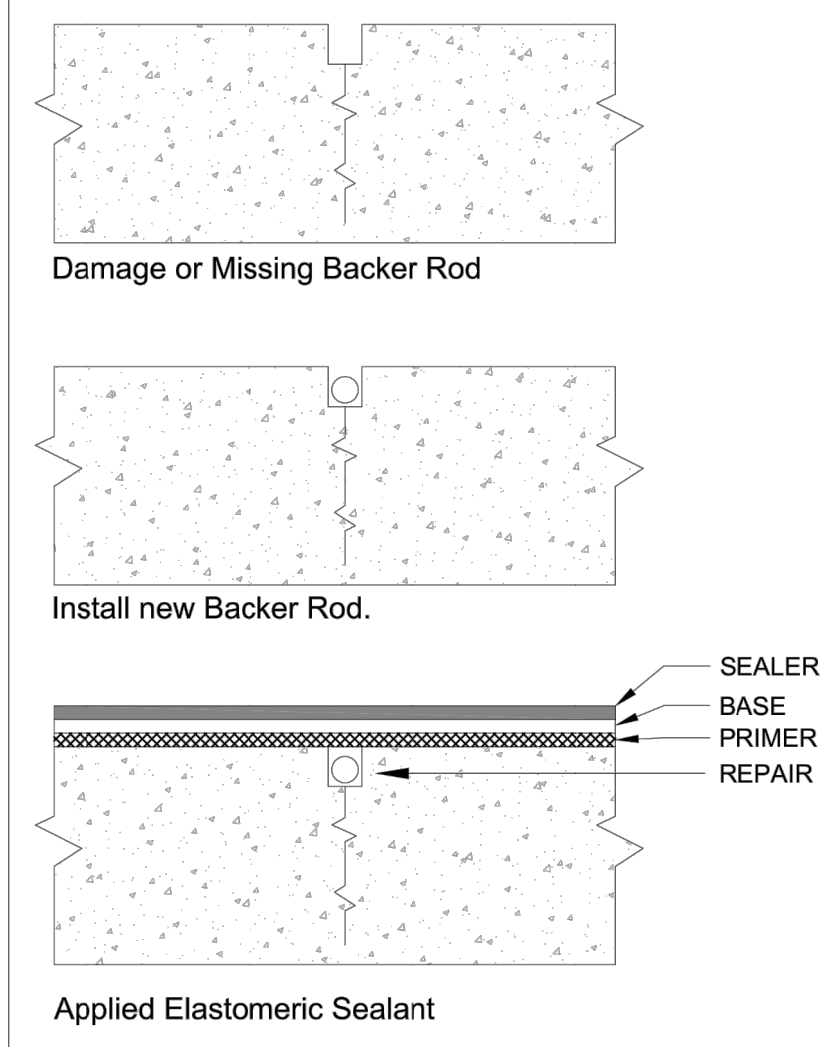
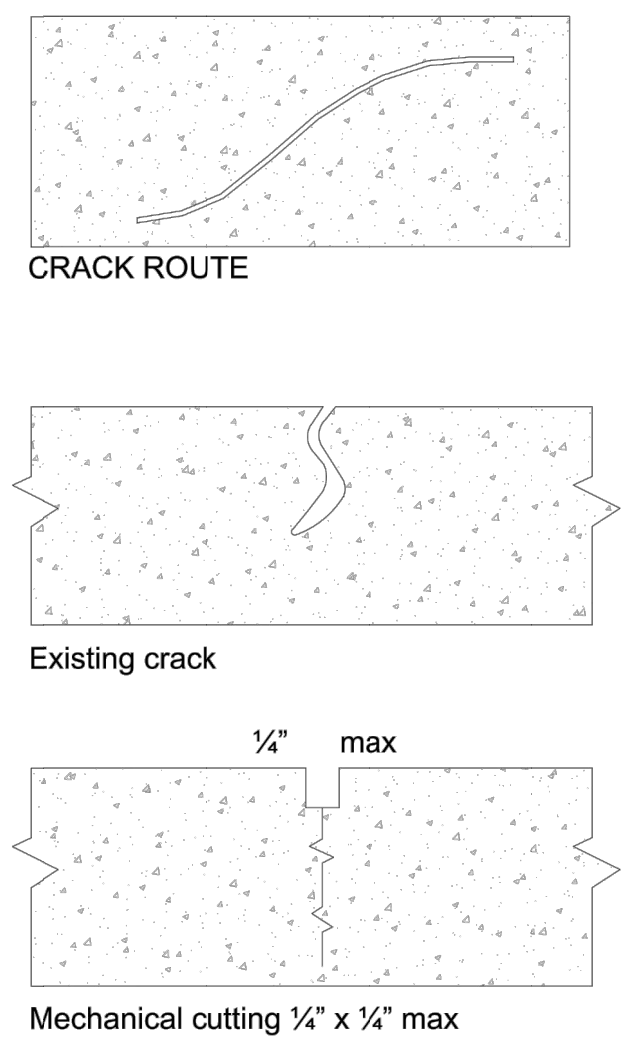
STRUCTURAL DETAILS - REPLACEMENT OF EXISTING STEEL BEAM

SCALE: AS SHOWN

REPAIR PROCEDURE FOR DINAMIC CRACK (ROUTING AND SEALING)

A-7

REPAIR PROCEDURE FOR DAMAGE OR MISSING BACKER ROD



METHODS FOR CRACK REPAIR AND FLUID – APPLIED VEHICULAR TRAFFIC AND WATERPROFF COATING SYSTEMS

Reference:
 ASTM C 801 Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete
 ASTM D 920 Standard Specification for Elastomeric Joint Sealants
 ACI 224 Joints in Concrete Construction
 ACI 503 R Use of Epoxy Compounds with concrete

1) EPOXY OR POLYURETHANE INJECTION

Cracks as narrow as 0.002 in. can be bonded by the injection of PU ("Crack Repair Method). The technique consists of establishing entry and venting ports at close intervals along the cracks, sealing the crack on exposed surfaces, and injecting the low-density PU under pressure. Epoxy materials used for structural repairs should conform to ASTM C 881 (Type IV). ACI 504R describes practices for sealing joints, including joint design, available materials, and methods of application.

- Cleaning the cracks. Clean any cracks that have been contaminated. Contaminants, such as oil, grease, dirt, or fine particles of concrete, prevent epoxy penetration and bonding, and reduce the effectiveness of repairs. Preferably, contamination should be removed by vacuuming or flushing with water or other effective cleaning solutions. Flushed out using compressed air and a neutralizing agent or adequate time is provided for air drying.
- Sealing the surfaces. Surface cracks should be sealed to keep the PU from leaking out before it has gelled. Where the crack face cannot be reached, but where there is backfill or where a slab-on-ground is being repaired, the backfill material or subbase material is sometimes an adequate seal. Extreme caution should be exercised when injecting cracks that are not visible on all surfaces. A surface can be sealed by applying an POLYURETHANE or other appropriate sealing material to the surface of the crack and allowing it to harden. If a permanent glossy appearance along the crack is objectionable and if high injection pressure is not required, a strippable plastic surface sealer may be applied along the face of the crack.
- Mixing the PU. Follow the manufacturer instruction. Mixing is done by batch or continuous methods. In batch mixing, the adhesive components are premixed according to the manufacturer's instructions, usually with the use of a mechanical stirrer, like a paintmixing paddle. Care should be taken to mix only the amount of adhesive that can be used before commencement of gelling of the material. When the adhesive material begins to gel, its flow characteristics begin to change, and pressure injection becomes more and more difficult. In the continuous mixing system, the two liquid adhesive components pass through metering and driving pumps before passing through an automatic mixing head.

2) Routing and Sealing

Routing and sealing cracks can be used in conditions requiring repair where structural repair is not necessary. This method involves enlarging the crack along its exposed face and filling and sealing it with a suitable joint sealant. Routing and sealing can be accomplished on vertical surfaces (with a non-sag sealant) as well as on curved surfaces (pipes, piles, and poles). Routing and sealing are used to treat both narrow and wide cracks. A common and effective use is for waterproofing by sealing cracks on the concrete surface where water stands or where hydrostatic pressure is applied. This treatment reduces the ability of moisture to reach the reinforcing steel or pass through the concrete, causing surface stains or other problems. The sealants may be any of several materials, including epoxies, urethanes, silicones, polysulfides, asphaltic materials, or polymer mortars. Cement grouts should be avoided due to the likelihood of cracking. The sealant should be sufficiently rigid to support the anticipated traffic. Routing and sealing consist of preparing a vertical walled groove at the surface typically ranging in depth from 1/4 to 1 in. A concrete saw or right-angle grinder may be used. The groove is then cleaned by air blasting, sandblasting, or water blasting, and dried. A sealant is placed into the dry groove and allowed to cure. A variation of this procedure is to provide load transfer by having PU fill or partially fill the crack by gravity. The vertical-walled groove is used as a reservoir for PU that is selected for an appropriate viscosity. The final step is to fill the vertical-walled groove with a high-viscosity, rigid epoxy. Active cracks should be repaired using a bond breaker at the base of the routed channel. A flexible sealant is then placed in the routed channel. It is important that the width-to-depth ratio of the channel is usually 2 or more. This permits the sealant to respond to movement of the crack with high extensibility. In some cases, over banding (backer rod) is used independently of or in conjunction with routing and sealing. This method is used to enhance protection from edge spalling and, for aesthetic reasons, to create a more uniform-appearing treatment. A typical procedure for over banding is to prepare an area approximately 1 to 3 in. (25 to 75 mm) on each side of the crack by sandblasting or other means of surface preparation and applying a coating (such as urethane) 0.04 to 0.08 in. (1 to 2 mm) thick in a band over the crack. Cracks subject to minimal movement may be over banded, but if significant movement can take place, routing and sealing should be used in conjunction with over banding to ensure a waterproof repair.

3) Gravity Filling

Gravity filling Low-viscosity PU, monomers and resins can be used to seal cracks with surface widths of 0.001 to 0.08 in. by gravity filling like High molecular-weight methacrylates, urethanes, and some low viscosity epoxy. The lower the viscosity, the finer the cracks that can be filled. The typical procedure is to clean the surface by air blasting, waterblasting, or both. Wet surfaces should be permitted to dry for several days to obtain the best crack filling. The material should be worked back and forth over the cracks to obtain maximum filling because the monomer or resin recedes slowly into the cracks. Excess material should be broomed off the surface to prevent slick, shining areas after curing. If the cracks contain significant amounts of silt, moisture, or other contaminants, the sealant cannot fill them take action with this. Water blasting followed by a drying time may be effective in cleaning and preparing these cracks.

4) Expansion Joint Backer Rod

This method involves remove the existing expansion joint material along the mechanical routing, filling and sealing it with a suitable backer rod or any acceptable expansion joint substrate. Joint width to depth ratio should be 2 to 1 with a minimum depth of 1/4" or a maximum depth of 1". The diameter of the backer rod should be 1/8" larger than the width of the joint.

5) Fluid-applied vehicular traffic coating system per manufacturer recommendation.

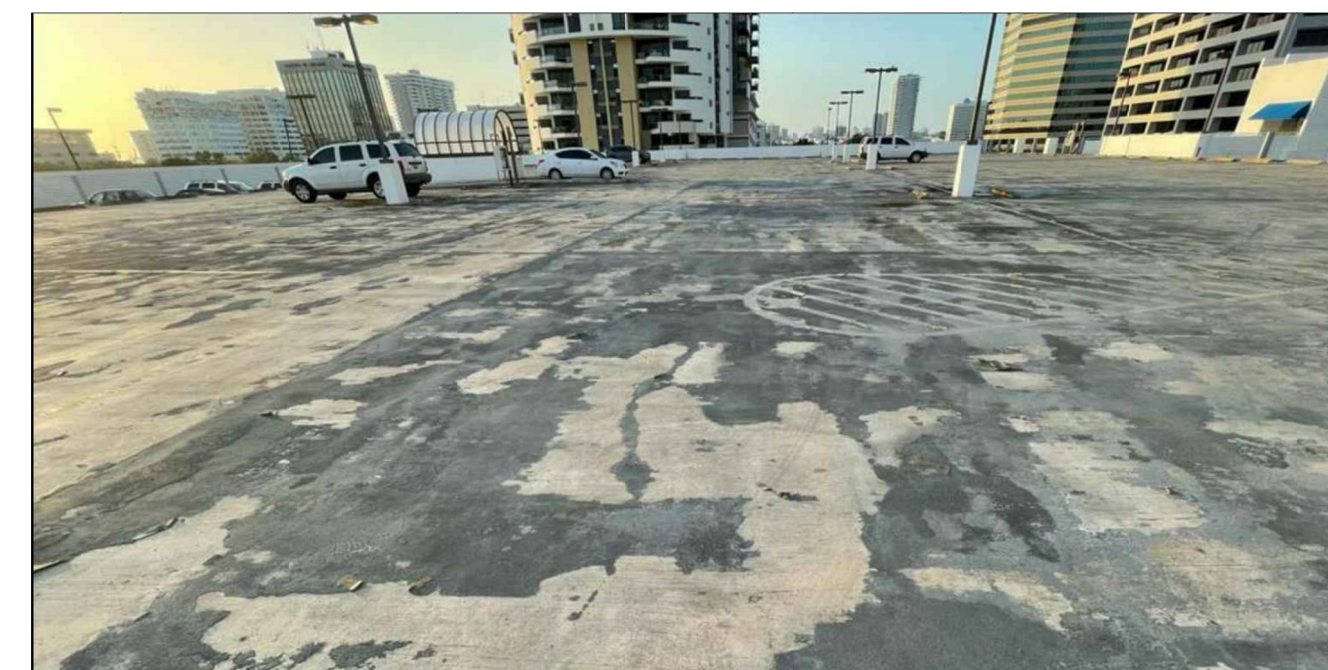
PHOTO DOCUMENTATION



TYPICAL VIEW OF EXPANSION JOINT



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW PARKING AREA

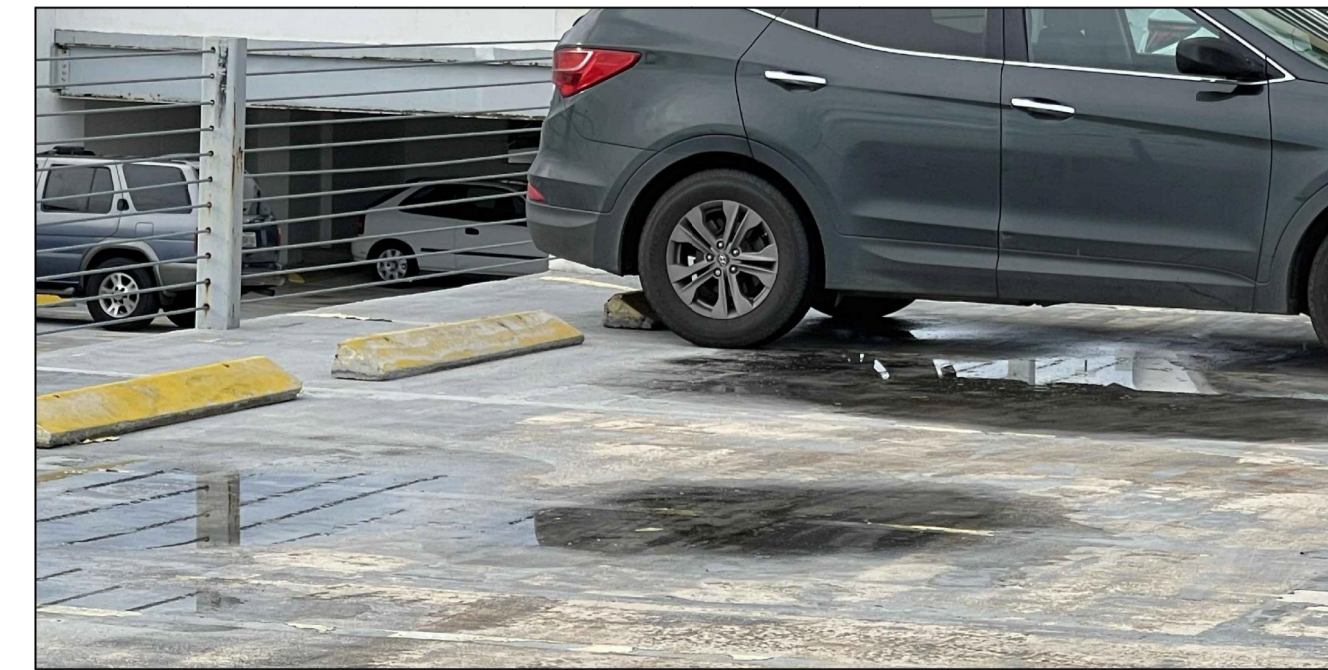


DAMAGE TRAFFIC SEALER SYSTEM

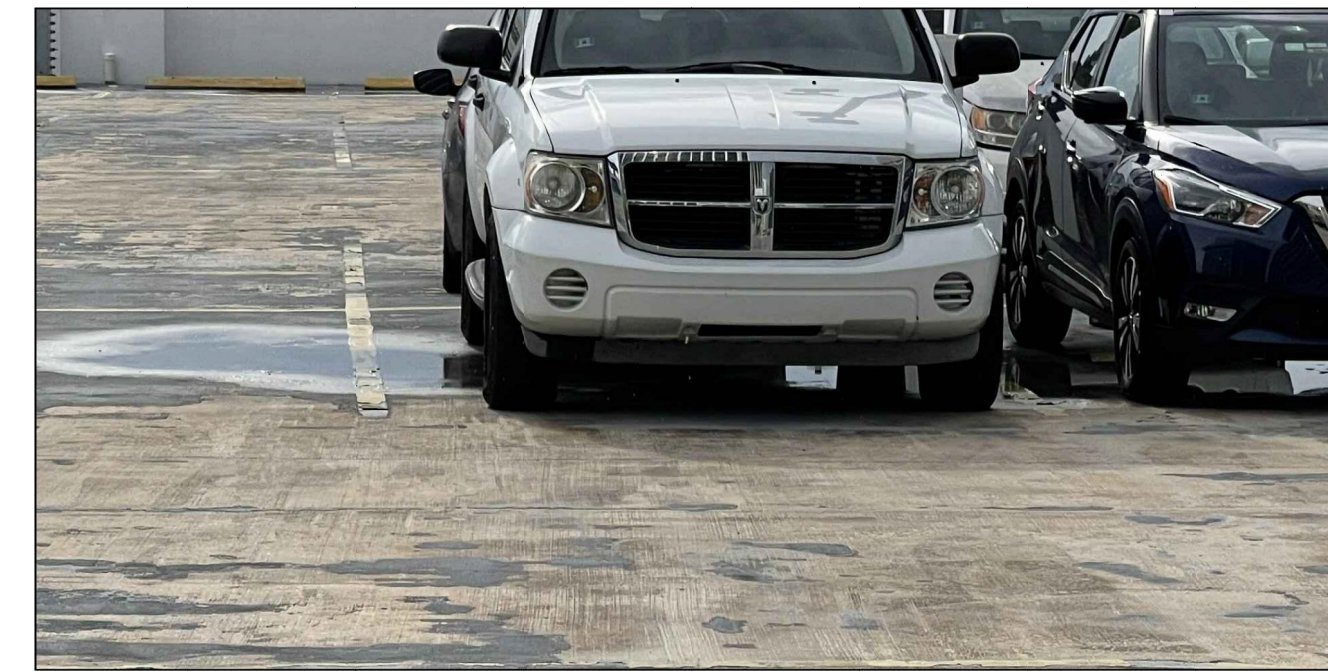


TYPICAL VIEW OF CRACKS

D-2



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM

GENERAL NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT (ALL LEVELS) WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT
- PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.
- PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

ADDRESS

268 AVE. MUÑOZ RIVERA
 SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D
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 Tel. (787) 918-5890 / 5891
 Email: info@ingeniumgroup

SIGNATURE



FILE

Dwg Name: WLELE04
 Drawn by: INGENIUM PROFESSIONAL GROUP PSC
 Revised by: Eng. W. Melendez Rivas, #16383
 Plot Scale:
 Progress Print: Sep 27, 2024

TITLE

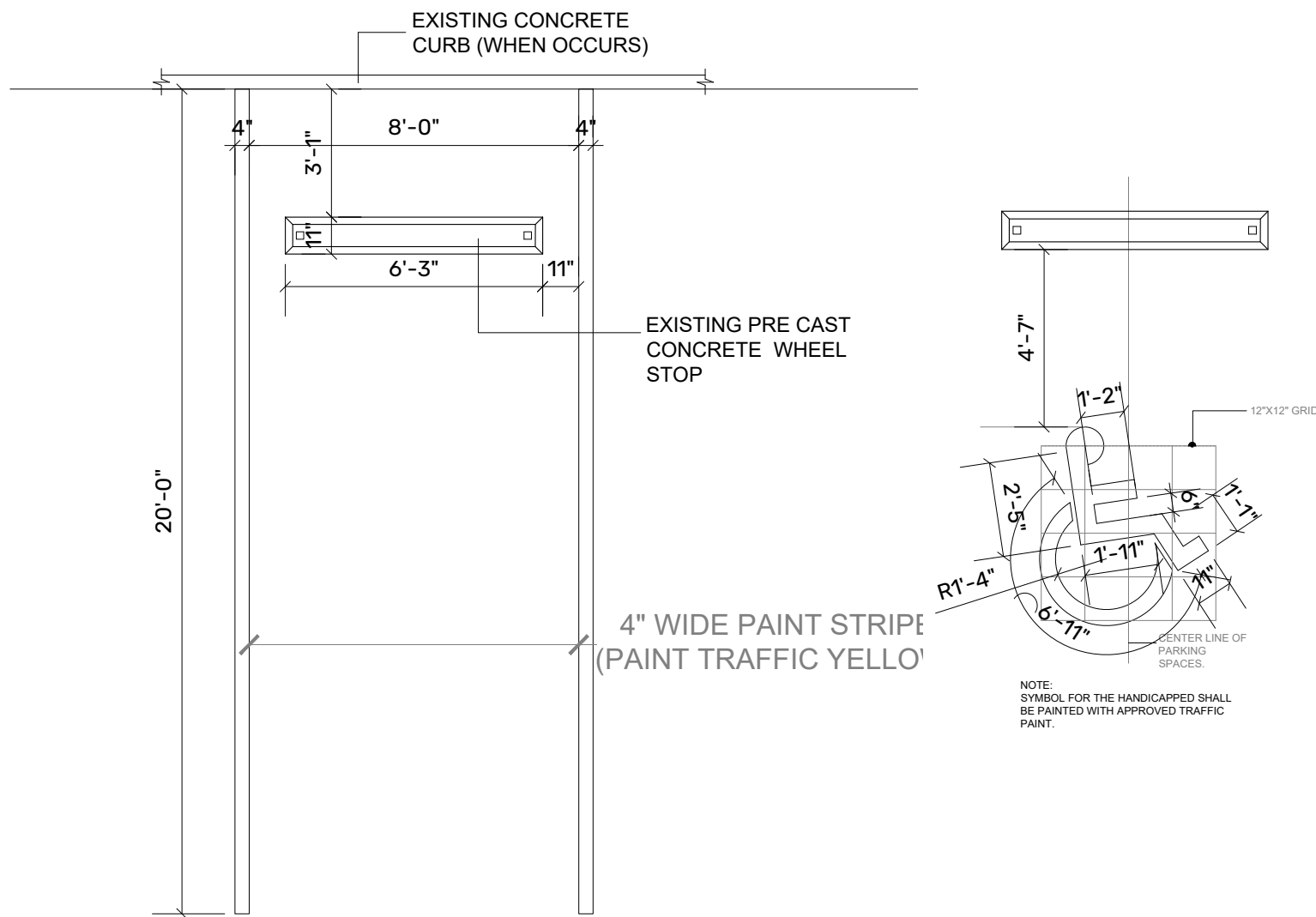
TECHNICAL SPECIFICATIONS

DRAWING NO.

C-500

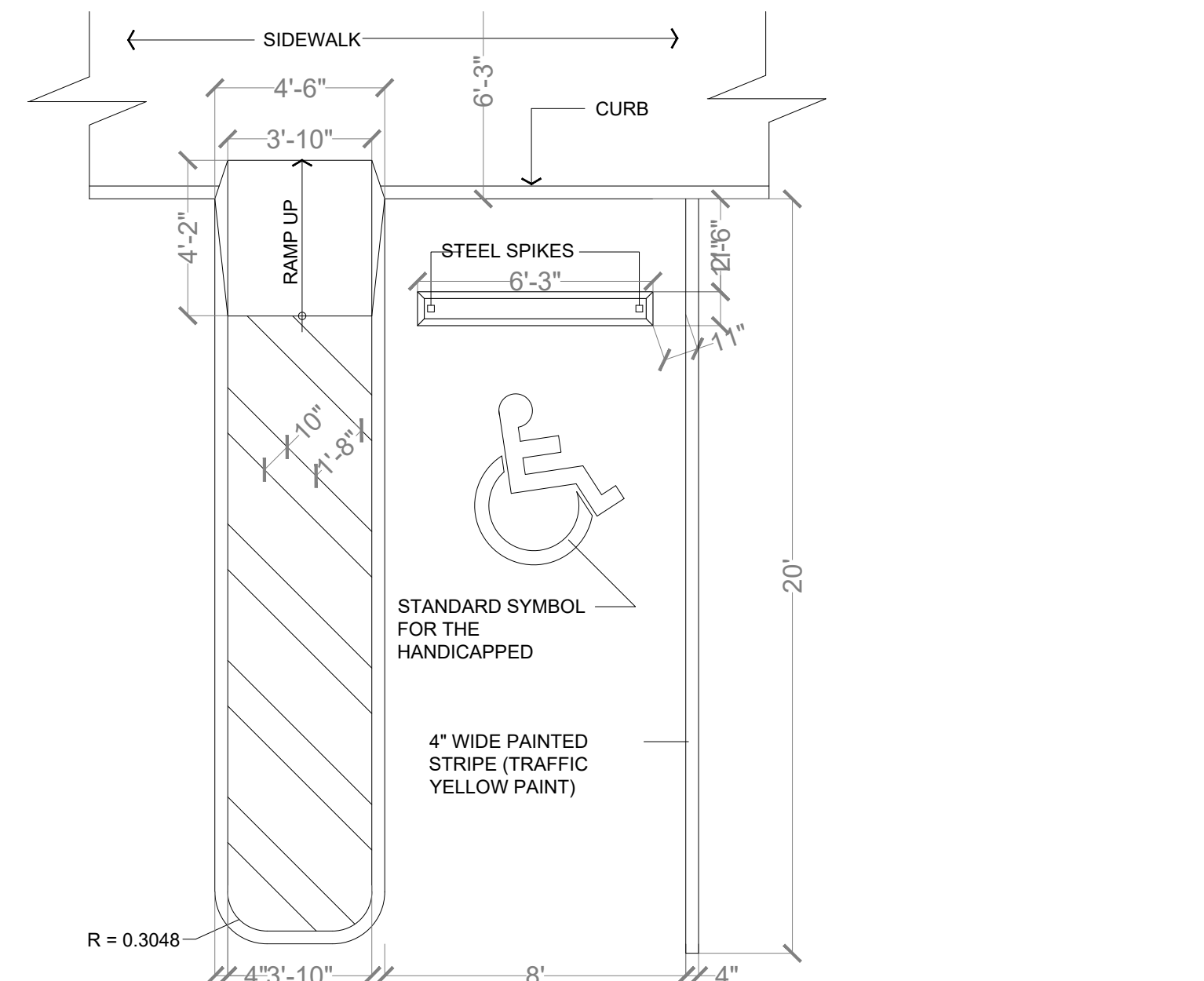
1 TYPICAL PAINTING DETAIL

SCALE: N.T.S



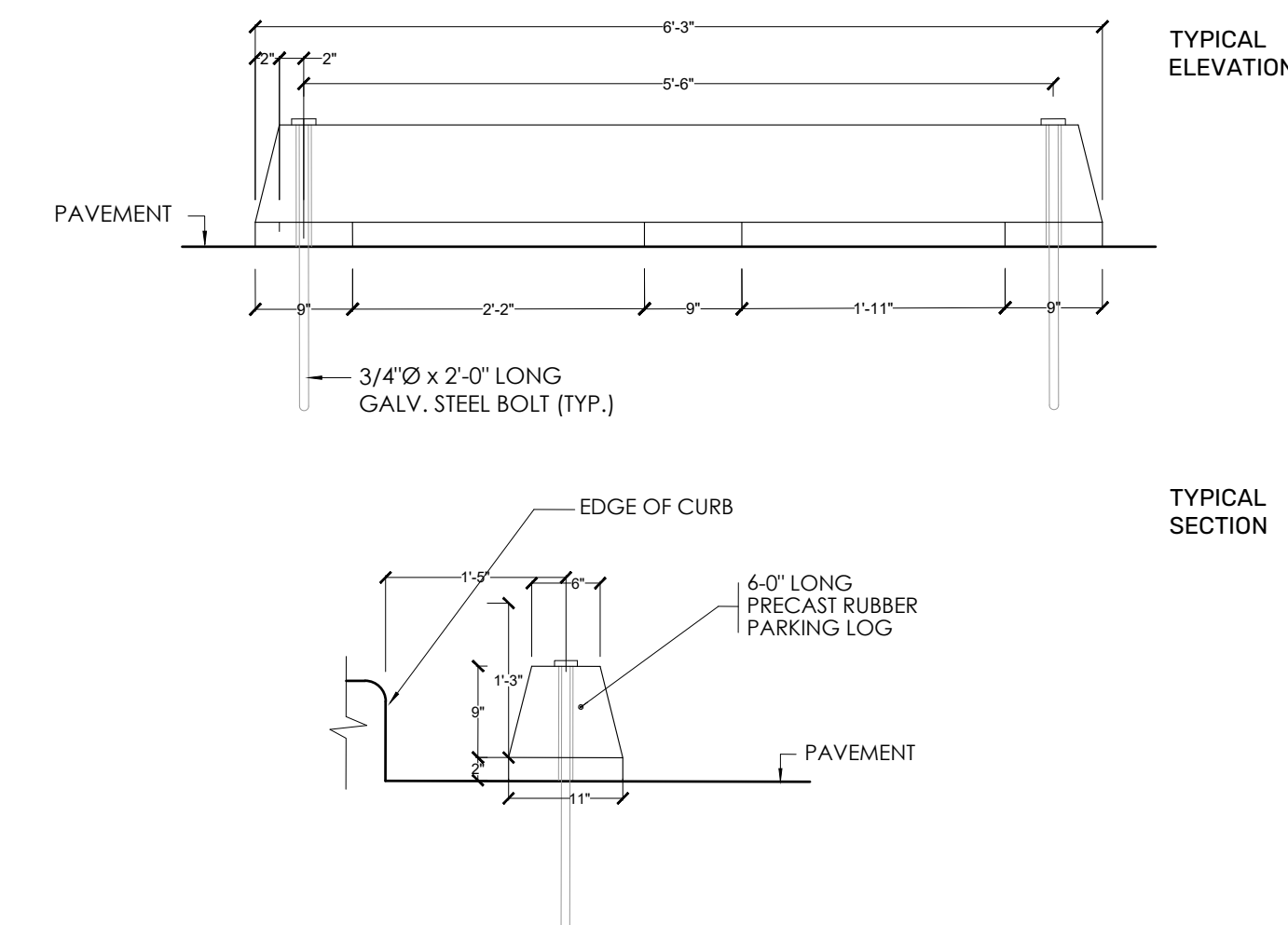
HANDICAPPED SYMBOL DETAIL (FOR PAINT)

SCALE: N.T.S



TYPICAL PARKING DETAILS (FOR PAINT)

SCALE: 1/4" = 1' - 0"



3 TYPICAL WHEEL STOPPER

SCALE: 1/4" = 1' - 0"

TECHNICAL SPECIFICATIONS

SCALE: AS SHOWN

2 PAINT QUANTITY

SCALE: N.T.S

Oficina de Administración de los Tribunales (OAT)
Paint Quantity
PARKING LOT STRIPES

AREA	PARKING SPACE	ADA PARKING SPACE	TOTAL SPACE	LINEAR FEET (4" STRIPE)	SQUARE FEET	GALLONS QTY
First Level	154	3	157	7,536	2,486	30
Second Level	251	6	257	12,336	4,070	49
Third Level	256	5	261	12,528	4,134	50
Fourth Level	239	5	244	11,712	3,864	47
Fifth Level	240	5	245	11,760	3,880	47
Sixth Level	242	5	247	11,856	3,912	47
TOTAL	1382	29	1411	67,728	22,350	271

WHEEL STOPPER/BUMPERS

AREA	PARKING SPACE	SQUARE FEET	GALLONS QTY
First Level	157	1178	22
Second Level	257	1928	36
Third Level	261	1958	36
Fourth Level	244	1830	34
Fifth Level	245	1838	34
Sixth Level	247	1853	34
TOTAL	1411	10583	196

OTHER MARKING AREAS ON ALL FLOORS (ADA SIGN, CURBS, DIAGONAL LINES, WALKWAYS PADS, ARROWS)

AREA	SQUARE FEET	GALLONS QTY
Ada Sign	600	11
Curbs/Islands	2500	25
Diagonal Lines	1450	15
Walkways Pads	1500	15
Transit direction marks	560	6
Arrows	850	9
TOTAL	7460	80

STEEL BEAM, GIRDERS AND COLUMNS - 3rd, 4th & 5th LEVELS ONLY

AREA	BEAMS W30X99	GIRDERS W24X55	COLUMNS W14X109	SQUARE FEET
First Level	0	0	0	0
Second Level	0	0	0	0
Third Level	-	-	-	2,284
Fourth Level	-	-	-	2,162
Fifth Level	-	-	-	2,478
Sixth Level	0	0	0	0
TOTAL	-	-	-	6,924

4 OTHER QUANTITY (1ST TO 6TH LEVEL)

SCALE: N.T.S

OTHER QUANTITY OF DAMAGES

AREA	AREA (APPROXIMATE.)	COMMENTS
CRACKS REPAIRS ON WALLS	250 SQFT.	THE TOTAL INCLUDES THE AMOUNT OF THE 5 PARKING LEVELS
CRACKS REPAIRS ON FLOOR DRAIN PIPE	1600 LFT	LOCATED ON THE 4TH & 6TH LEVEL
	100 EA	LOCATED ON 3RD, 4TH, 5TH & 6TH LEVELS
TRAFFIC COATING SYSTEM	79,914 SQFT.	LOCATED ON THE 6TH LEVEL & PARTIAL 3RD
REPLACEMENT OF EXPANSION JOINTS	75 LFT	THE TOTAL INCLUDES THE AMOUNT OF THE 5 PARKING LEVELS
STRUCTURAL STEEL BEAM - W12 x 16 (12FT)	4 EA	LOCATED ON 4TH & 5TH LEVELS
WHEEL STOPPER	47 EA	LOCATED ON 3RD LEVEL
ANCHOR EXISTING POST TO THE GROUND (SUBJECTION)	1 EA	LOCATED ON THE 6TH LEVEL
PAINT FOR SOLAR POLES	592 SQFT.	LOCATED ON THE 6TH LEVEL

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE GOVT. REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS BEEN COMPLETED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE REGISTERED MECHANICAL ENGINEERS" AND WITH THE PROVISIONS OF LAW 15, 1938, AS AMENDED, ACT NO. 96 OF JULY 4, 1978, AS AMENDED, AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR INDULGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE GOVT.



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FILE

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Drawn by: INGENIUM PROFESSIONAL GROUP, PBC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

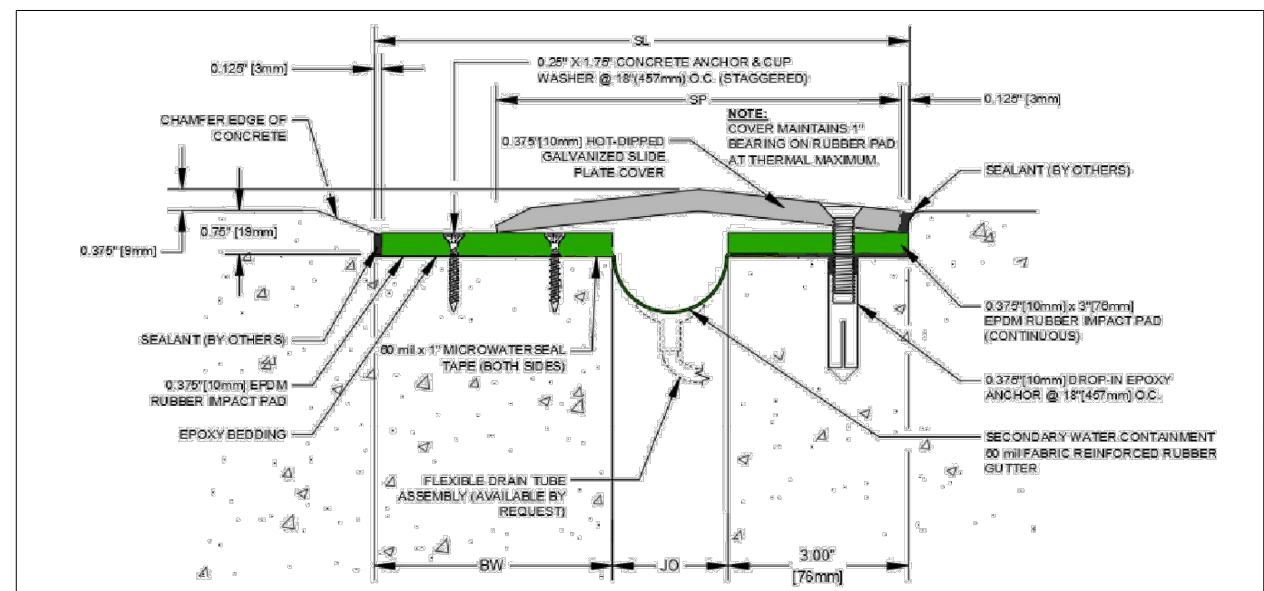
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TECHNICAL SPECIFICATIONS

DRAWING NO.

C-501

PAGE: 29/30



JOINTS BETWEEN BUILDINGS

Joins will be replaced and concrete will be repaired where required following best construction practices. In cases where the separation between structures in the joint is less than 3", it must be corrected as follows:

Remove and replace the missing covers or existing gasket material. You should mark as a guide the cut to be made on the most convenient side until you achieve said separation of 3".

Use whatever equipment you think is necessary to make the cut. Such as a saw or polisher with a carbide or diamond disc for a clean cut in concrete and reinforcement.

If any reinforcement is exposed, it must be protected by applying epoxy cement-steel. On the other hand, if the reinforcement is oxidized, it must be removed using a metal wire brush until the oxide is eliminated, apply MAPEFER 1K or similar and then the epoxy-cement-steel and, if required, apply a mortar as plastering; for the mortar see the PAINTING section. Install the joint cover according to the manufacturer, always one end is fixed and the other is free for movement, in compliance with all codes and regulations in force to date.

JO = 3X Height in inches measured from first floor level as a starting point. JO varies according to the height of the mezzanine where the joint will be worked.

SP = JO + 6"

BW = 6"

SL = BW + JO + 3"

- SURFACE PREPARATION**
- Thoroughly clean all surfaces to receive coating materials in strict compliance with Manufacturer's written instructions and recommendations. Remove oil and grease with a commercial grade alkaline cleaner; thoroughly rinse and dry. Prepare all concrete surfaces by grinding or shot-blasting.
 - Rout or saw cut all cracks exceeding 1/16" (.16cm) in width and caulk with Permathane SM7120 PU.
 - Caulk all expansion, control and construction joints to be over coated by deck coating with Permathane SM7120 PU. Protect adjacent surfaces with drop cloths or masking as required.

It is used to promote adhesion of ELASTO-DECK 5000 polyurethane deck coating systems, ELASTO-DECK 6500 polyurea systems, Joint Sealants and Elasto-Mat D&G to concrete, Wood, Concrete and Metal. Also used as an interlaminar primer for deck and membrane re-coats.

Two-component, multipurpose, high-modulus epoxy bonding agent. Planibond EBA is nonshrink, 100%-solids and moisture-tolerant. Planibond EBA is used primarily as a bonding agent for screeds and repair mortars

One-component, shrinkage-compensated, cementitious, fiber-reinforced, fluid mortar. Planitop 15 contains a corrosion inhibitor and silica fume, and is well-suited for form-and-pour and form-and-pump applications where high early strength and flowability are required.

REPAIR METHOD: USE THE MANUFACTURER'S RECOMMENDATIONS FOR EACH PRODUCT. FIRST APPLY PLANIBOND AS A BONDING AGENT AND CORROSION PROTECTOR BEFORE APPLYING A REPAIR MORTAR SUCH AS PLANITOP.

ELASTO-DECK 6500 PT-VT
TWO COMPONENT, ALIPHATIC, HIGH SOLIDS POLYURETHANE, LOW ODOR TRAFFIC COATING SYSTEM

TECHNICAL DATA SHEET

PRODUCT DESCRIPTION:
Pacific Polymers' ELASTO-DECK 6500 is a two component, aliphatic, UV stable, high solids, polyurethane, low odor, elastomeric traffic coating system. It is liquid applied and flexible. It is mixed at a 10:1 by volume ratio. ELASTO-DECK 6500 is designed for pedestrian and vehicle traffic applications such as parking decks, roof decks, balconies, breezeways, and mechanical rooms.

PROPERTY	TYPICAL RESULTS
Chemical Resistance (ASTM D471)	Pass
** The shelf life for an unopened container stored at temperatures between 60°F (15.6°C) and 90°F (32°C) is 6-9 months from date of manufacture. Store out of direct sunlight in a cool, well-ventilated area. Avoid storing container directly on the floor or against an outside wall.	

Standards: Complies with ASTM C957

ELASTO-POXY PRIMER VOC
TWO COMPONENT VOC COMPLIANT PRIMER

TECHNICAL DATA SHEET

PRODUCT DESCRIPTION:
Pacific Polymers' ELASTO-POXY PRIMER VOC is a two-component, solvent based, VOC compliant epoxy resin-based primer for use with the ELASTO-DECK 5000, and ELASTO-DECK B.T. Systems. The primer may also be used with ELASTO-DECK 6500 polyurea/epoxy coatings and joint sealants. When mixed, it will set up to a durable tough film when used on wood, metal, or concrete.

Using Jiffy Mixing Blade attached to a slow speed drill (300 - 450 rpm), mix the components for 2 - 3 minutes. Let it stand for few minutes to break entrapped air bubbles and pockets.

cool, well-ventilated area. Avoid storing container directly on the floor or against an outside wall.

Mixing Instruction (EPP-VOC)
Agitate B-Component (Curing Agent) container prior to opening for 30 seconds to allow the component to get homogeneous. Then open the container and drain completely into the A-Component (Epoxy Resin Component). Using Jiffy Mixing Blade attached to a slow speed drill (300 - 450 rpm), mix the components for 2 - 3 minutes. Let it stand for few minutes to break entrapped air bubbles and pockets.

PERMATHANE SM7120 PU
POLYURETHANE SEALANT

TECHNICAL DATA SHEET

PRODUCT DESCRIPTION:
Permathane® SM7120 PU is a one-component, gun-grade, non-tag, moisture-cure polyurethane sealant designed to skin and cure rapidly. This high-performance product is designed with outstanding UV resistance and long-term durability. Excellent adhesion is obtained on a wide variety of materials.

ADVANTAGE:

- Excellent adhesion to a variety of substrates
- Dependable performance and durability
- Easy to gun, tool, and clean
- Accommodates a 35% joint movement
- Permanently flexible, excellent weatherability
- Excellent cut and tear resistance
- Paintable - non-sticky after cure
- VOC Compliant to SCAQMD, CARB, and OTC
- Primer-less adhesion to substrates including galvanized steel, aluminum, concrete, glass, Galvalume®, Kynar 500®, wood, vinyl, and fiberglass.

Property	Typical Value	Test Method
Flex Adhesion*	25 psi	ASTM C774
Tensile Strength*	133 psi (0.92 N/mm2)	ASTM D412
Elongation	685%	ASTM D412
Shrink	None	ASTM C839
Hardness (Shore A)	40 ± 5 A	ASTM D 2240
Service Temperature Range	-40°F to 180°F (-40°C to 85.2°C)	
Water Resistance	Passes	AAMA 800
Flash Point	>166°F (>74.4°C)	ASTM D56
Shelf Life	12 months when stored at or below 80°F	
Cure Time	2-4 hours	
Cure Time	2-7 days	
VOC	17.4 g/L	EPA Method 24

*Tensile and flex adhesion are dependent on temperature, humidity, and porosity of the substrates. The above times are based on a 1/2" bead at 70°F and 50% relative humidity. Low humidity, under temperature, and non-porous substrates will lengthen these times.
*Flex Adhesion: Glass - 38 psi, Aluminum - 41 psi, Vinyl - 24 psi, Concrete - 38 psi

3 TRAFFIC COATING SYSTEM
SCALE: N.T.S

AMERLOCK® SEALER

DESCRIPTION
Two-component, penetrating epoxy primer sealer

PRINCIPAL CHARACTERISTICS

- Solvent-free
- Compatible with damp surfaces
- Wicking action penetrates rusted steel and concrete surfaces
- Surface tolerant for applications where abrasive blasting is not an option
- Accepts broad range of topcoats
- Excellent tie coat for many existing coatings

PREVIOUSLY PAINTED SURFACES: CLEAN SURFACE OF ALL LOOSE, PEELING PAINT AND FOREIGN MATERIAL; SPOT PRIME BARE METAL AREAS. IF THE PAINT IS OLD, PEELING OR BADLY WEATHERED, HAND TOOL CLEAN (SSPC-SP2) OR POWER TOOL CLEAN (SSPC-SP3). GLOSSY OR SMOOTH SURFACES SHOULD BE SANDED, IF POOR ADHESION OF EXISTING COATINGS IS NOTED OR COATING IS LOOSED BY BLISTERING, RUPTURE OR SCRATCHING, ADDITIONAL ABRASION OR REMOVAL METHODS MAY BE NECESSARY TO PROVIDE A CLEAN AND SOUND SURFACE.

PRIMER, APPLY 1 COAT: PRIMER
PAINT, APPLY 2 COATS: INDUSTRIAL ANTICORROSIIVETM

COLOR AND GLOSS LEVEL

- Clear
- Gloss

Note: Epoxies will characteristically chalk and fade with exposure to sunlight. Light colors are prone to ambering

HPC INDUSTRIAL ALKYD 4308

DESCRIPTION
One-component, alkyd gloss industrial enamel

PRINCIPAL CHARACTERISTICS

- Interior / exterior, gloss enamel
- Protects against atmospheric corrosion
- Ideal for safety equipment and pipe identification
- Good abrasion resistance
- Washable and scrubbable
- Excellent resistance to grease, oil, and water

COLOR AND GLOSS LEVEL

- Custom colors, white
- Gloss

4 CORRODED STEEL: GIRDER, COLUMNS AND STEEL BEAM PAINT
SCALE: N.T.S

- ALL DRAINS MUST BE:
- PROPERLY INSPECTED AND FIXED.
 - CLEANED
 - UNCAPPED
 - SEALED PROPERLY
 - IF THE DRAINAGE PIPE DOES NOT HAVE A COVER, IT MUST BE PROVIDED WITH ONE OF THE EXACT DIAMETER.

5 DRAIN PIPE
SCALE: N.T.S

PPG ZONELINE® 11-53 Series

Architectural Coatings

GENERAL DESCRIPTION
Our high quality, 100% acrylic traffic and zone marking paints are formulated to meet the performance requirements of professional applicators. PPG Zoneline paints are easy to apply with standard line strippers or by brush or roller. These quick drying formulas allow traffic to resume swiftly and minimize bleeding on the surface. Zoneline paints are durable and abrasion resistant to heavy traffic and weather conditions avoiding frequent reapplication. Recommended for use on fully cured asphalt, concrete and brick masonry.

RECOMMENDED SUBSTRATES
Parking lots & garages
Pedestrian crosswalks
Fire lanes
Manufacturing plants
Roads, highways & traffic lanes
Airport runways
Loading zones
Warehouses

CONFORMANCE STANDARDS
VOC compliant in all regulated areas

PRODUCT INFORMATION
11-53 White
11-54 Yellow
11-55 Handicap Blue
11-56 Red

PACKAGING
1-Gallon (3.78 L)
5-Gallon (18.9 L)

Not all products are available in all sizes.

PRODUCT DATA
PPG Zoneline Exterior 100% Acrylic Latex Flat

PRODUCT TYPE: 100% Acrylic Latex
SHEEN: Flat, 0-5 @ 60° & 85°
VOLUME SOLIDS*: 58% +/- 2%
WEIGHT SOLIDS*: 75% +/- 2%
WEIGHT/GALLON*: 14.1 lbs. (6.4 kg) +/- 0.2 lbs. (91 g)
VOC: <50 g/L (1.4 lbs./gal.)
*Product data calculated on product 11-53.

COVERAGE: One U.S. gallon (3.78 L) covers approximately 320 linear feet (97.5 linear meters) of four inch (10.2 cm) wide stripe. Approximately 107 sq. ft. (10 sq. meters) at 15 wet mils.

Wet Film Thickness: 15.0 mils
Wet Microns: 381
Dry Film Thickness: 8.7 mils
Dry Microns: 221

Coverage figures do not include loss due to surface irregularities and porosity or material loss due to application method or mixing.

DRYING TIME: Dry time @ 77°F (25°C): 50% relative humidity.
To Touch: 15 minutes
To Traffic: 50 minutes

Drying times listed may vary depending on temperature, humidity, film build, color, and air movement. A minimum of four hours cure time above 50°F (10°C) and below 80% relative humidity is required before any exposure to moisture.

CLEANUP: Clean tools with warm, soapy water.

DISPOSAL: Contact your local environmental regulatory agency for guidance on disposal of unused product. Do not pour down a drain or storm sewer.

FLASH POINT: Over 200°F (93°C)

6 ACRYLIC TRAFFIC & ZONE MARKING PAINT
SCALE: N.T.S

CRACKS WITH SEPARATION LESS THAN 1/4": THEY SHOULD BE CLEANED, DECONTAMINATED OF CHEMICAL RESIDUES, DUST AND / OR OILS. THEY WILL BE CORRECTED WITH PRESSURE POLYURETHANE INJECTION. THE SURFACE MUST BE CLEAN AND CLOUD. EQUAL OR SIMILAR TO PERMATHANE SM7120PU.

7 CRACKS REPAIRS ON FLOOR
SCALE: N.T.S

2 CRACKS REPAIRS ON WALLS
SCALE: N.T.S

TECHNICAL SPECIFICATIONS
SCALE: AS SHOWN

ADDRESS
268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

OWNER
PODER JUDICIAL

REGISTER NO.
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D
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SIGNATURE

FILE

Dwg Name: WEG_Eng
Drawn by: INGENIUM PROFESSIONAL GROUP PSC
Revised by: Eng. W. Melendez Rivas, #16383
Plot Scale:
Progress Print: Sep 27, 2024

TITLE

TECHNICAL SPECIFICATIONS

DRAWING NO.
C-502