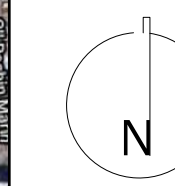
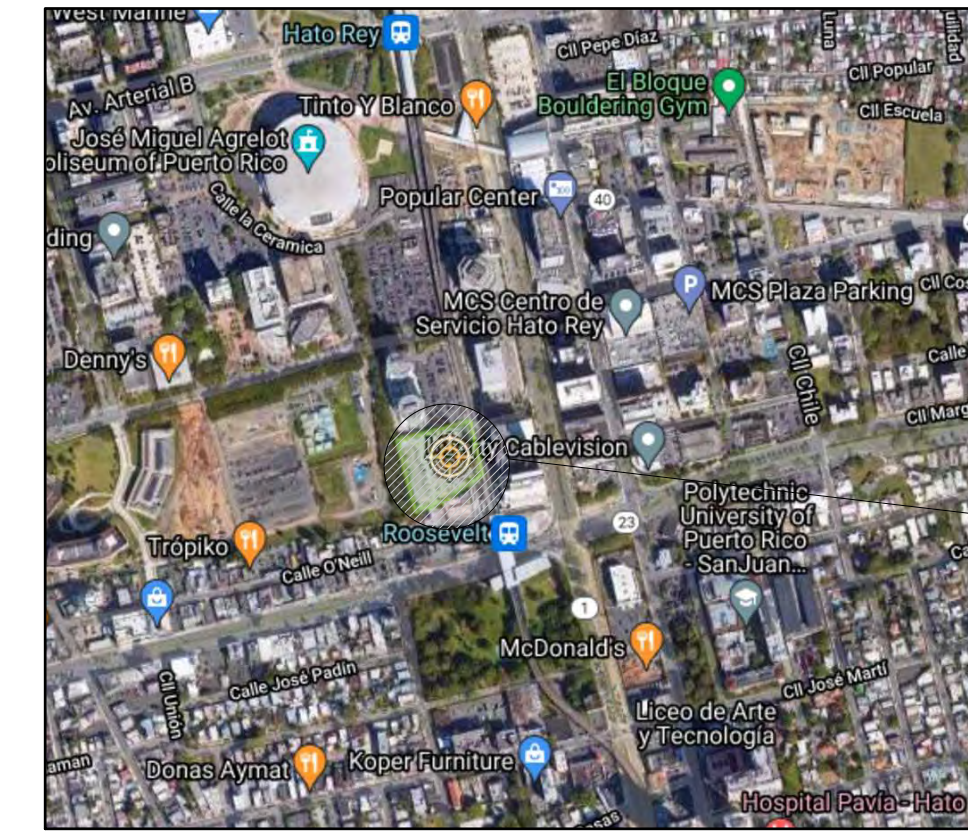


# PARKING LOT IMPROVEMENT

FIRST LEVEL; SECOND LEVEL; THIRD LEVEL; FOURTH LEVEL; FIFTH LEVEL & SIXTH LEVEL

OFICINA DE ADMINISTRACION DE LOS TRIBUNALES  
EDIFICIO WORLD PLAZA  
268 AVE. MUÑOZ RIVERA, SAN JUAN P.R.



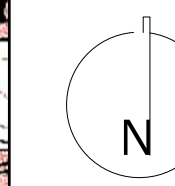
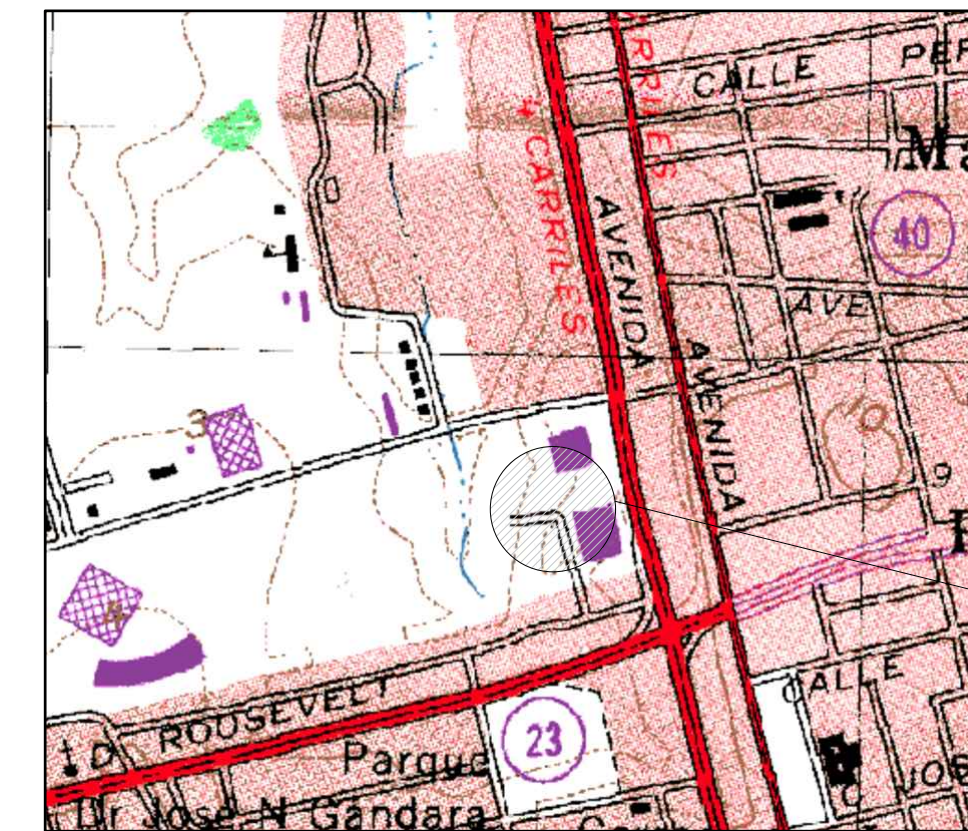
## LOCATION

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

Junta de Planificación, Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Catastro: 063-031-639-02  
Coordenadas Nad83 x: 2359564.2074, y: 265481.8088  
(Lon: 18.42458962, Lon: -66.05884430)

SITE



## TOPOGRAPHY

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

Junta de Planificación, Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Clasificación: Oficialización del geodato en proceso, favor de referirse al mapa de calificación vigente.

Clasificación PT: Oficialización del geodato en proceso, favor de referirse al mapa de calificación vigente.

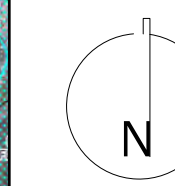
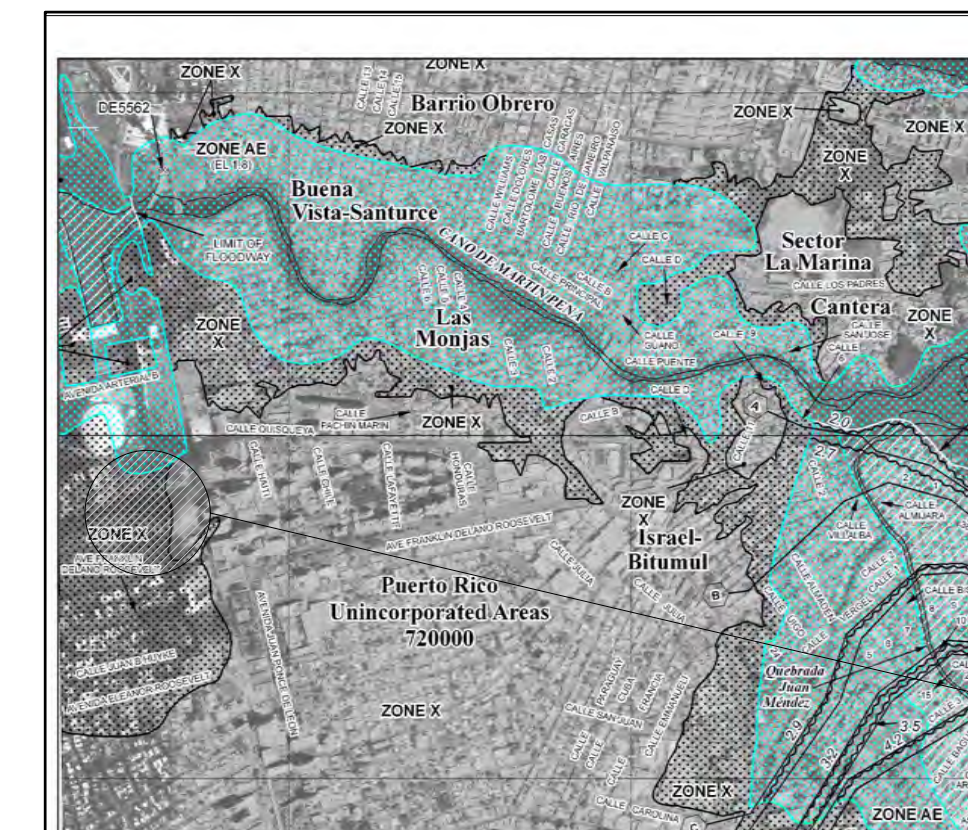
Clasificación PUT: SU 99% VIAL 1%

Distrito Sobrepuesto: APE-ZC (Área de Planificación Especial Zona Cárstica)

Zona Histórica:-

Sitio Histórico:-

SAN JUAN, PUERTO RICO



## FLOOD MAP

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | MAPA NIVELES DE INUNDACIÓN BASE RECOMENDADOS

Junta de Planificación, Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Zona Inundabilidad Advisory: X

Zona Inundabilidad (Firm): X

Panel de Inundabilidad: 7200C0365J

Floodway: NO UBICA EN FLOODWAY

Suelo (NRCS): SNS (Soil not surveyed)

## PAGE INDEX

SHEET	CODE	TITLE
01	T-1	TITLE PAGE
02	C-100	PARKING AS- BUILT_ FIRST LEVEL
03	A-100	PROPOSED STRUCTURAL RECOMMENDATIONS_ FIRST LEVEL
04	E-100	EXISTING LIGHTING_ FIRST LEVEL
05	E-101	PROPOSED LIGHTING_ FIRST LEVEL
06	C-101	PARKING AS- BUILT_ SECOND LEVEL
07	A-101	PROPOSED STRUCTURAL RECOMMENDATIONS_ SECOND LEVEL
08	E-102	EXISTING LIGHTING_ SECOND LEVEL
09	E-103	PROPOSED LIGHTING_ SECOND LEVEL
10	C-102	PARKING AS- BUILT_ THIRD LEVEL
11	A-102	PROPOSED STRUCTURAL RECOMMENDATIONS_ THIRD LEVEL
12	E-104	EXISTING LIGHTING_ THIRD LEVEL
13	E-105	PROPOSED LIGHTING_ THIRD LEVEL
14	C-103	PARKING AS- BUILT_ FOURTH LEVEL
15	A-103	PROPOSED STRUCTURAL RECOMMENDATIONS_ FOURTH LEVEL
16	E-106	EXISTING LIGHTING_ FOURTH LEVEL
17	E-107	PROPOSED LIGHTING_ FOURTH LEVEL
18	C-104	PARKING AS- BUILT_ FIFTH LEVEL
19	A-104	PROPOSED STRUCTURAL RECOMMENDATIONS_ FOURTH LEVEL
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21	E-109	PROPOSED LIGHTING_ FIFTH LEVEL
22	C-105	PARKING AS- BUILT_ SIXTH LEVEL
23	A-105	PROPOSED STRUCTURAL RECOMMENDATIONS_ SIXTH LEVEL
24	A-106	PROPOSED POLYCARBONATE ROOF BLOWUP_ SIXTH LEVEL
25	E-110	EXISTING LIGHTING_ SIXTH LEVEL
26	E-111	PROPOSED LIGHTING_ SIXTH LEVEL
27	C-500	PROCEDURES
28	C-501	PROPOSED DETAILS IPR
29	C-502	PROPOSED DETAILS II
30	S-100	STRUCTURAL DETAILS

ADDRESS
268 AVE. MUÑOZ RIVERA SAN JUAN P.R.
OWNER
PODER JUDICIAL

REGISTER NO.
0 6 3 - 0 3 1 - 6 3 9 - 0 2
REVISIONS
REV. DATE DESCRIPTION BY CHK'D
--- -- -- -- --

**IMPORTANT NOTES TO THE CONTRACTOR:**  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. ENGINEER IS NOT RESPONSIBLE FOR C.O.M.M.I.S.S.I.O.N. OF THE WORK.  
ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED.  
IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL C.O.M.M.I.S.S.I.O.N.

**CERTIFICATION**  
I, WILLIAM MELÉNDEZ RIVERA, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE ZONING REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE LAW NO. 332 OF MAY 15, 2008, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE GOVE.

**IPG INGENIUM PROFESSIONAL GROUP PSC**  
654 Ave. Muñoz Rivera - Suite 1838 - 654 Plaza, San Juan, PR 00738  
Tel. (787) 918-5890 / 5891  
Email: info@ingeniumgroup.com

**SIGNATURE**  
  
William Meléndez Rivera  
Ingeniero Profesional  
Lic. 16383 P.E.  
Puerto Rico

**FILE**  
Dwg Name: ESTACIONAMIENTO WORLD PLAZA GROUNDING  
Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

**TITLE**  
TITLE PAGE

**DRAWING NO.**  
T-1

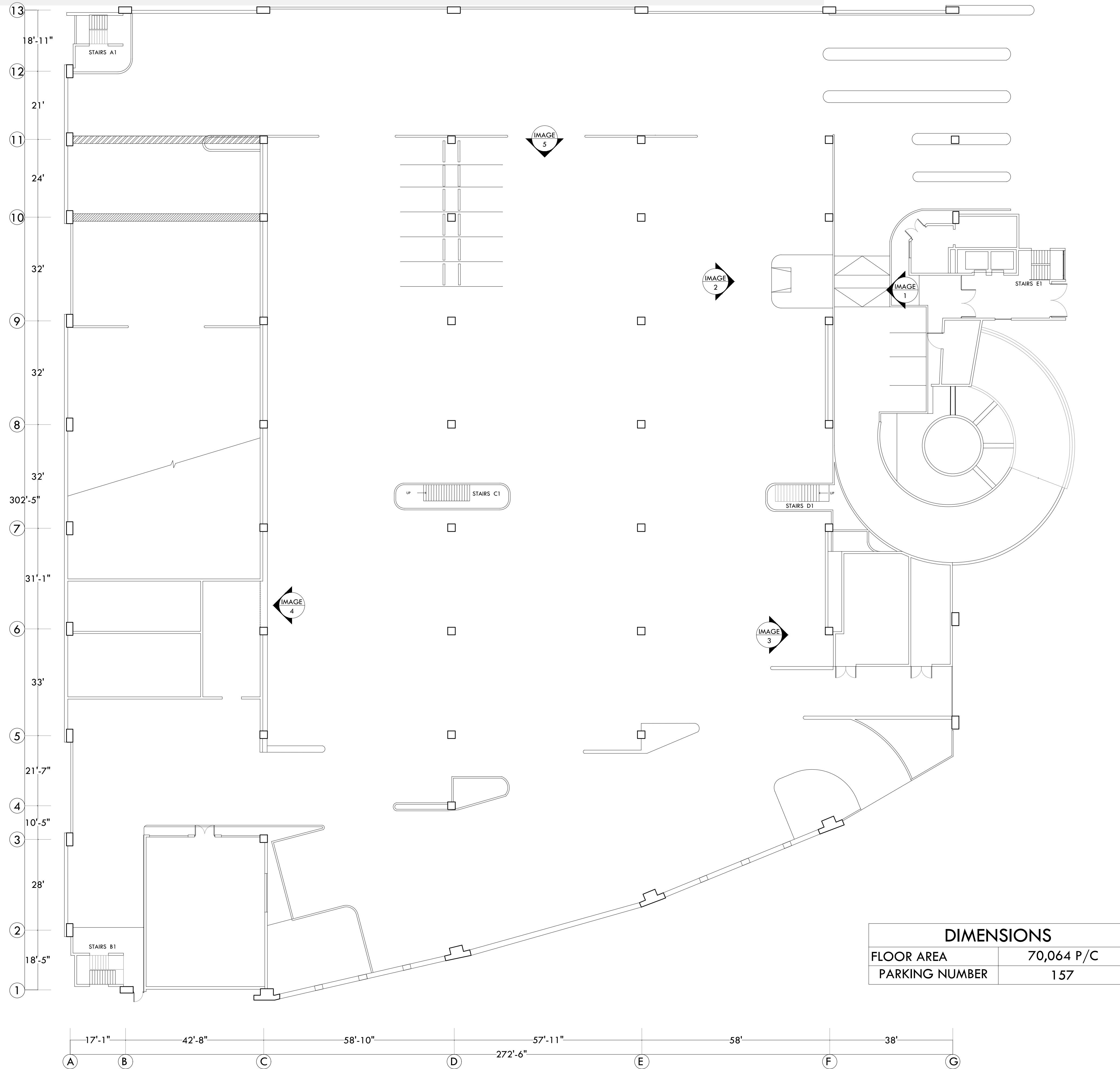
**PAGE:** 01/30

### EXISTING AND GENERAL CONDITIONS

1. THE CONTRACTOR WILL VISIT THE WORKPLACE TO VERIFY THE EXISTING MEASURES AND CONDITIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE WAYS AND METHODS OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION WITH THE PHYSICAL CONDITION OF THE BUILDING TO ENSURE THEY ARE CORRECT.
4. IT IS THE DIRECT RESPONSIBILITY TO MAKE OAT PERSONNEL KNOW OF ANY DISCREPANCY IN EXISTING CONDITIONS BEFORE AWARDED THE PROJECT AND CONSULT OAT WHO CONTACT ARCHITECT OR ENGINEER IN RECORD.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR ALL MATERIAL, LABOR AND ANY EQUIPMENT NECESSARY FOR THE EXECUTION OF THE WORKS.
6. THE SAFETY OF THE SITE, WORKERS AND OAT PERSONNEL IS THE RESPONSIBILITY OF THE CONTRACTOR WHILE THEY ARE EXECUTING THE PROJECT AND SHALL BE RESPONSIBLE FOR PROTECTING ANY SERVICES THAT THEY FIND IN THE AREA UNDER CONSTRUCTION, NOT LIMITED TO PLUMBING, ELECTRICAL, GAS AND POTABLE WATER SERVICES. AND SANITARY, TELEPHONY AND CABLE SERVICE THAT MAY BE AFFECTED BEFORE AND DURING THE IMPROVEMENT WORK.
7. CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOAD, TRANSPORT

- AND DISPOSE OF ALL DEBRIS GENERATED AS PART OF THE WORKS EXECUTED AS PART OF THE SCOPE OF WORK. ALL MATERIAL RESULTING FROM THE WORK MUST BE REMOVED SAFELY OUT OF THE PROJECT. STORAGE OF DEBRIS WILL NOT BE ALLOWED IN THE BUILDING FOR MORE THAN THREE CONSECUTIVE DAYS.
9. ANY WORK TO BE PERFORMED MUST COMPLY WITH ACCESSIBILITY STANDARDS AND IN COMPLIANCE WITH THE "2010 ADA STANDARD FOR ACCESIBLE DESIGN AND THE FEDERAL UNIFORM ACCESSIBILITY STANDARD".
  10. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE 2028 IBC, 2028 IEBC AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE, STANDARDS, REGULATIONS AND LAWS.
  11. LIQUID DAMAGES FOR DELAY WILL BE DISCUSSED AT THE TIME OF PRE-PURCHASE
  12. THE CONTRACTOR SHALL BE RESPONSIBLE, IF THE PROJECT IS AWARDED, TO HAVE THE CORRESPONDING INSURANCE, WHICH GUARANTEES THE COVERAGE OF THE POSSIBLE DAMAGES CAUSED BY THEM IN THE PROJECT.
  13. THE SPECIFICATIONS TO BE USED ARE THOSE THAT APPLY ACCORDING TO THE WORKS REQUIRED IN THE LAST SECTION OF THIS SET OF PLANS.
  14. THE MATERIALS TO BE USED MUST BE 100% FREE OF ASBESTOS AND LEAD.
  15. THESE DRAWINGS ARE CONSIDERED AS THE FINALS. CATEGORY: "ISSUES FOR CONSTRUCTION"

FIRST LEVEL PARKING AS BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT



PARKING AS-BUILT - FIRST LEVEL

SCALE NTS

PHOTO DOCUMENTATION

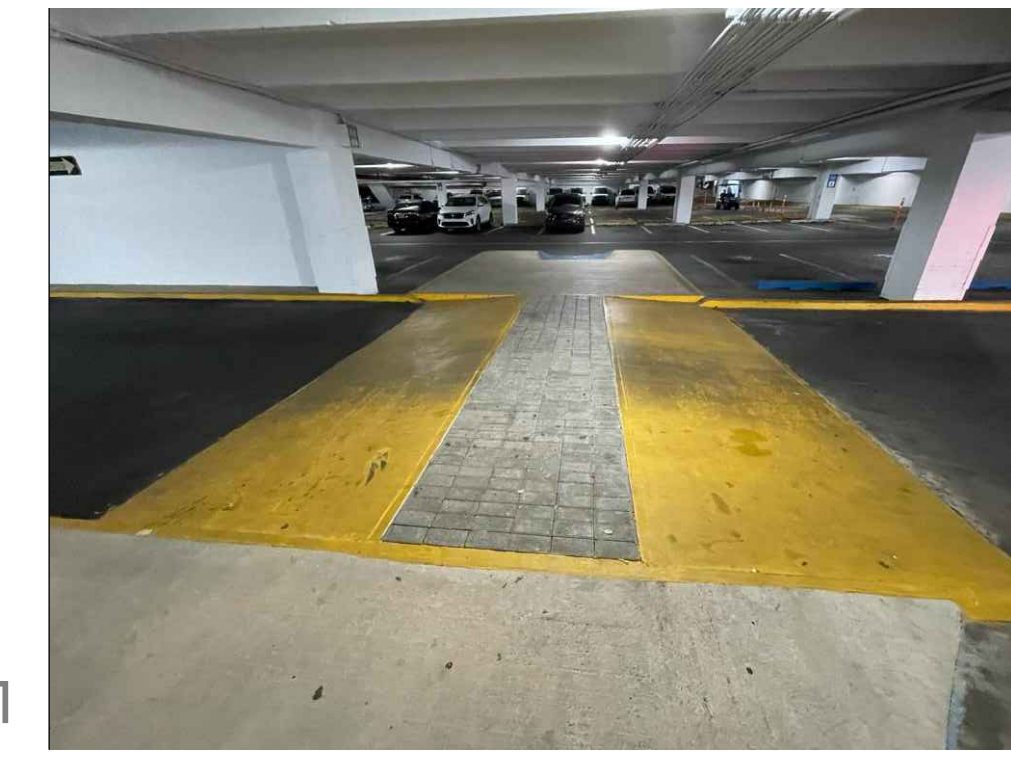


IMAGE 1

TYPICAL PEDESTRIAN CROSSING RAMP

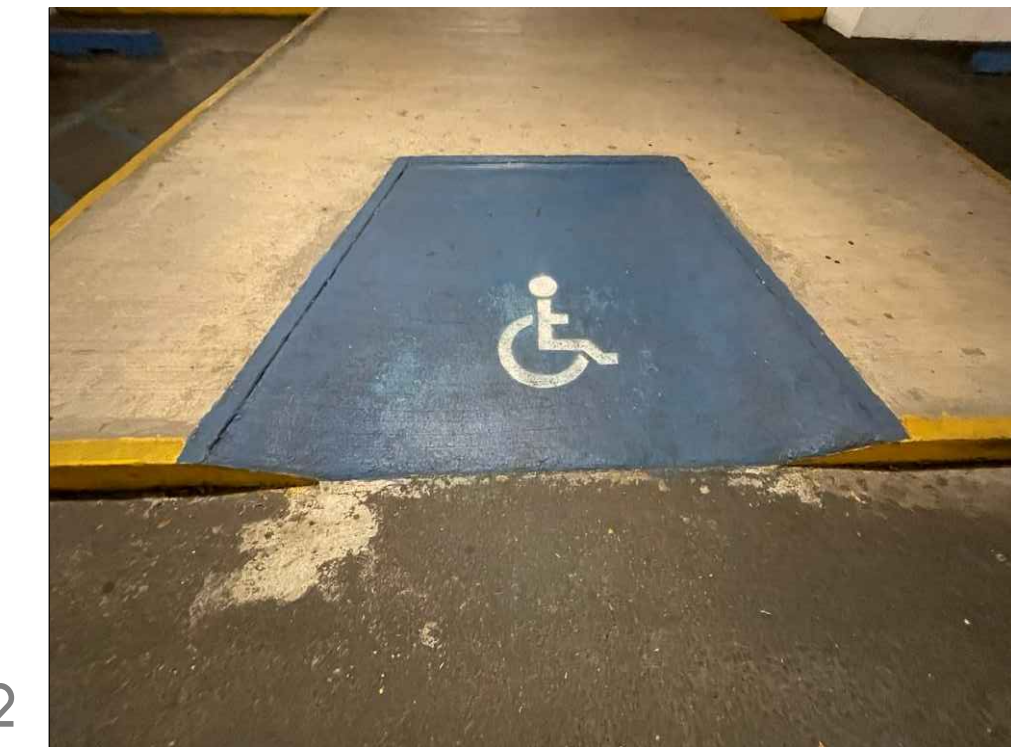


IMAGE 2

TYPICAL ADA CURB RAMP PAINT REQUIREMENT

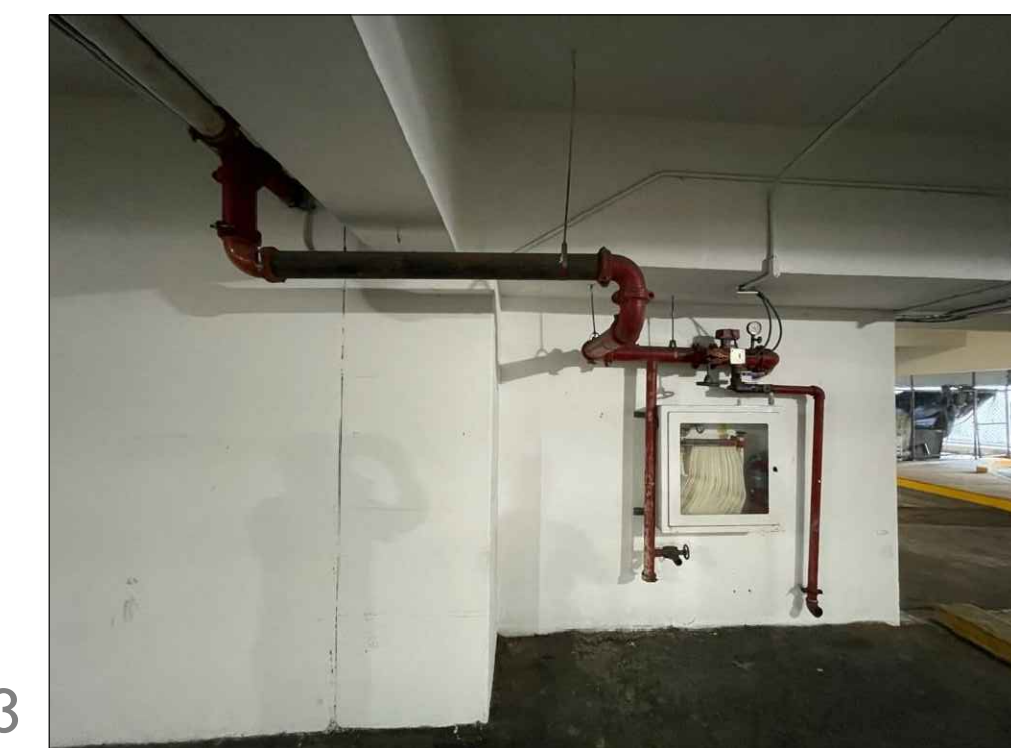


IMAGE 3

FIRE CONTROLS SYSTEMS TO BE PAINTED

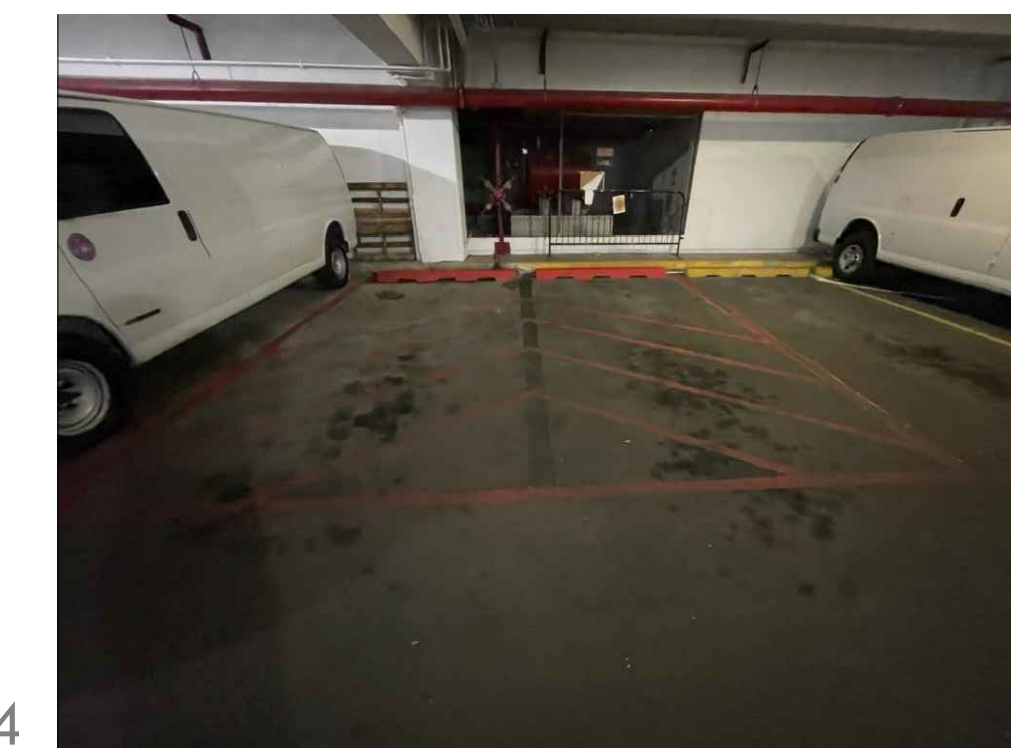


IMAGE 4

EMERGENCY PARKING AREA

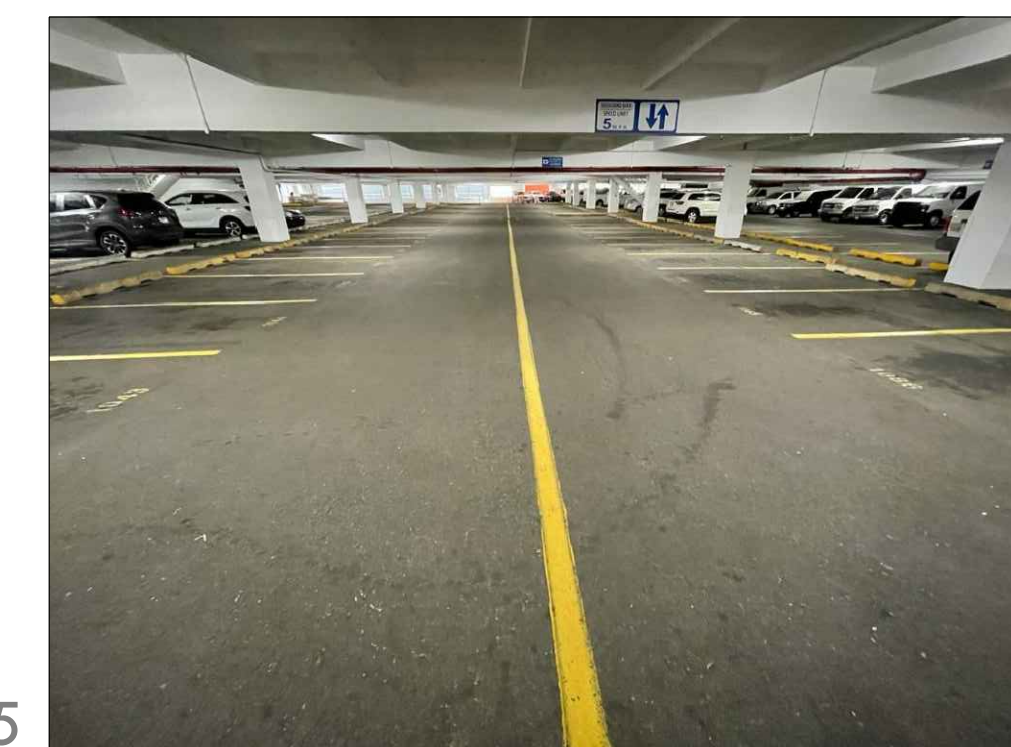


IMAGE 5

TYPICAL PARKING AREA

ADDRESS  
268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER  
PODER JUDICIAL

REGISTER NO.  
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:  
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654 Ave. Muñoz Rivera - Suite 1838 - 654  
Plaza, San Juan, PR 00738  
Tel. (787) 918-5890 / 5891  
Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: ESTADOCOMENTO WORLD PLAZA-GROUNDING  
Drawn by: INGENIUM PROFESSIONAL GROUP/PSC  
Revised by: Eng.-W. Melendez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

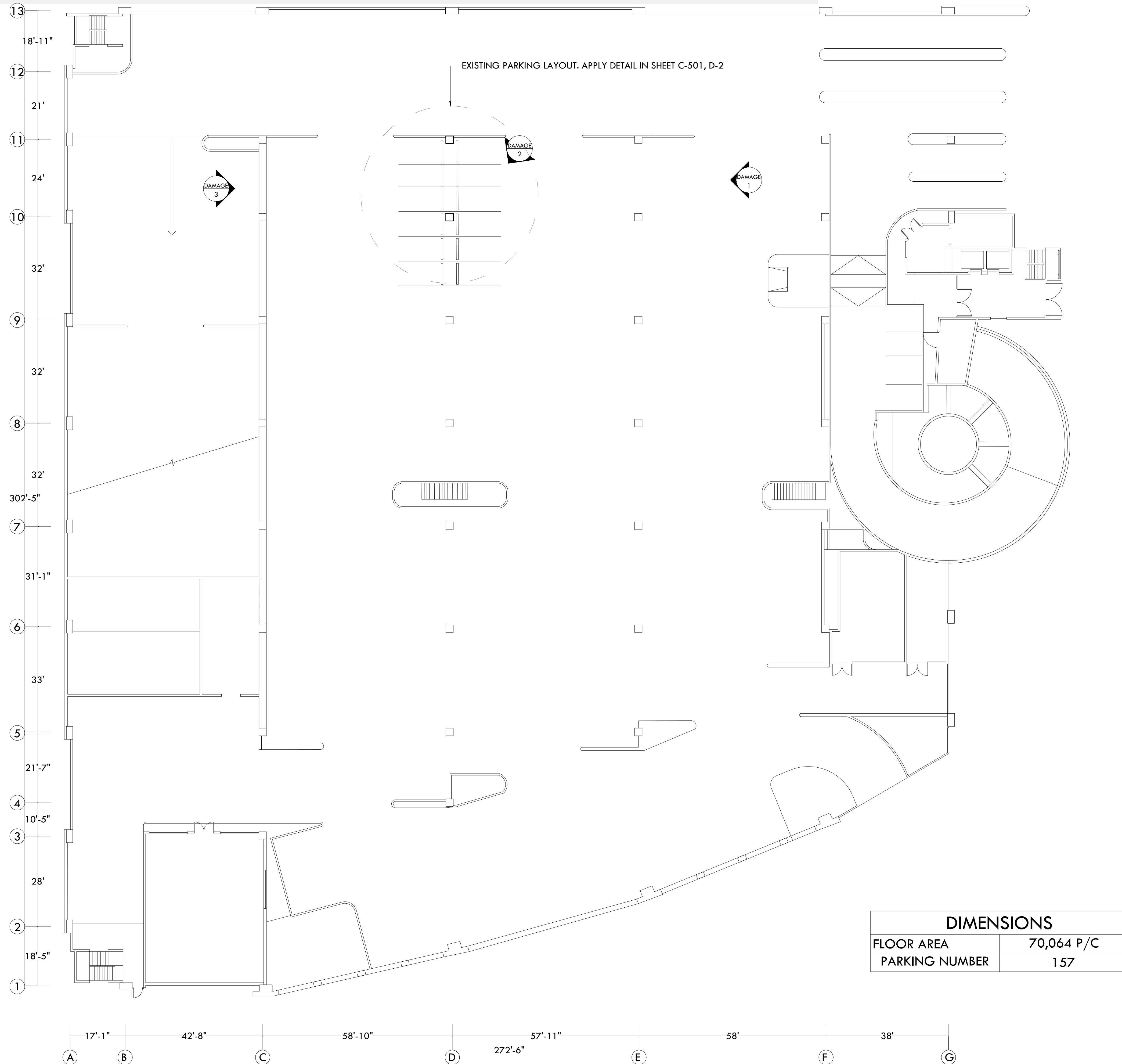
TITLE

PARKING AS-BUILT-FIRST LEVEL

DRAWING NO.  
C-100

PAGE: 2/30

**FIRST LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT**



DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	157

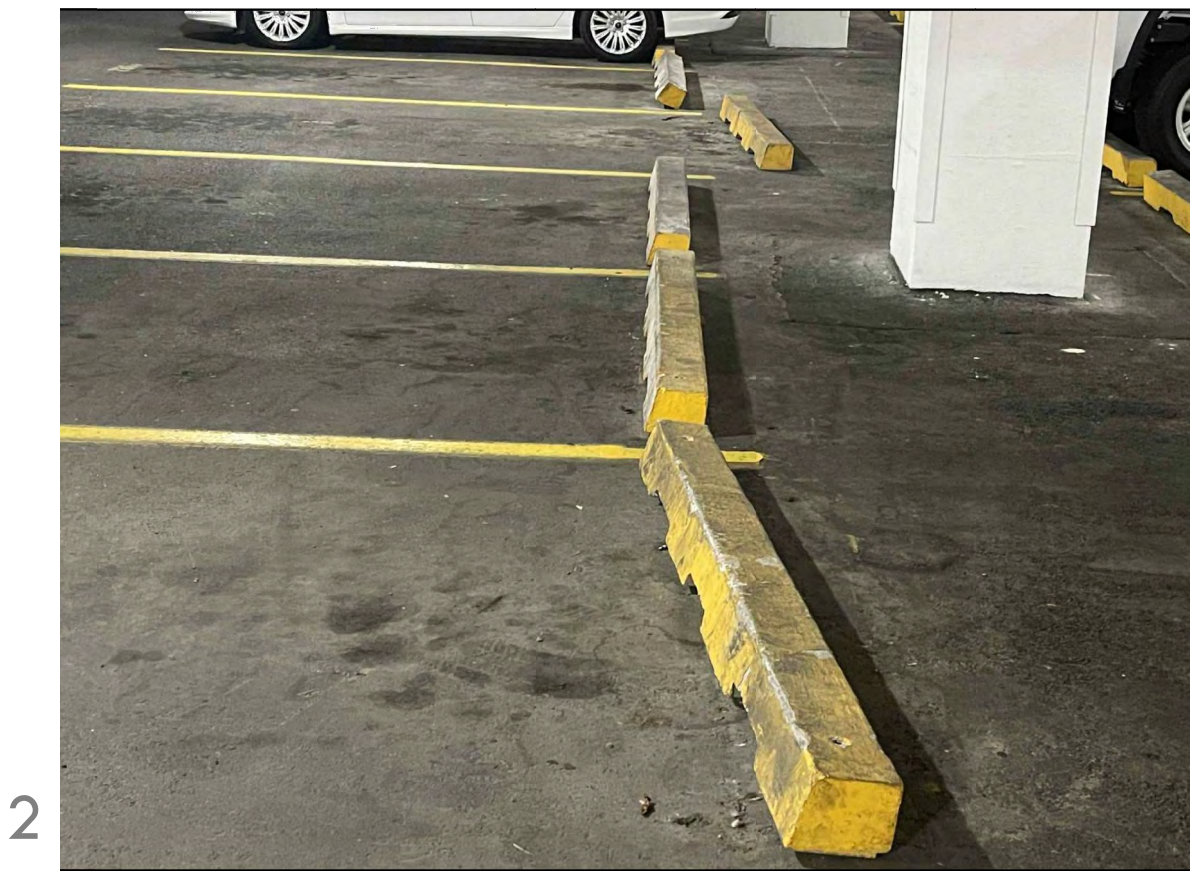
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**DAMAGE 1**



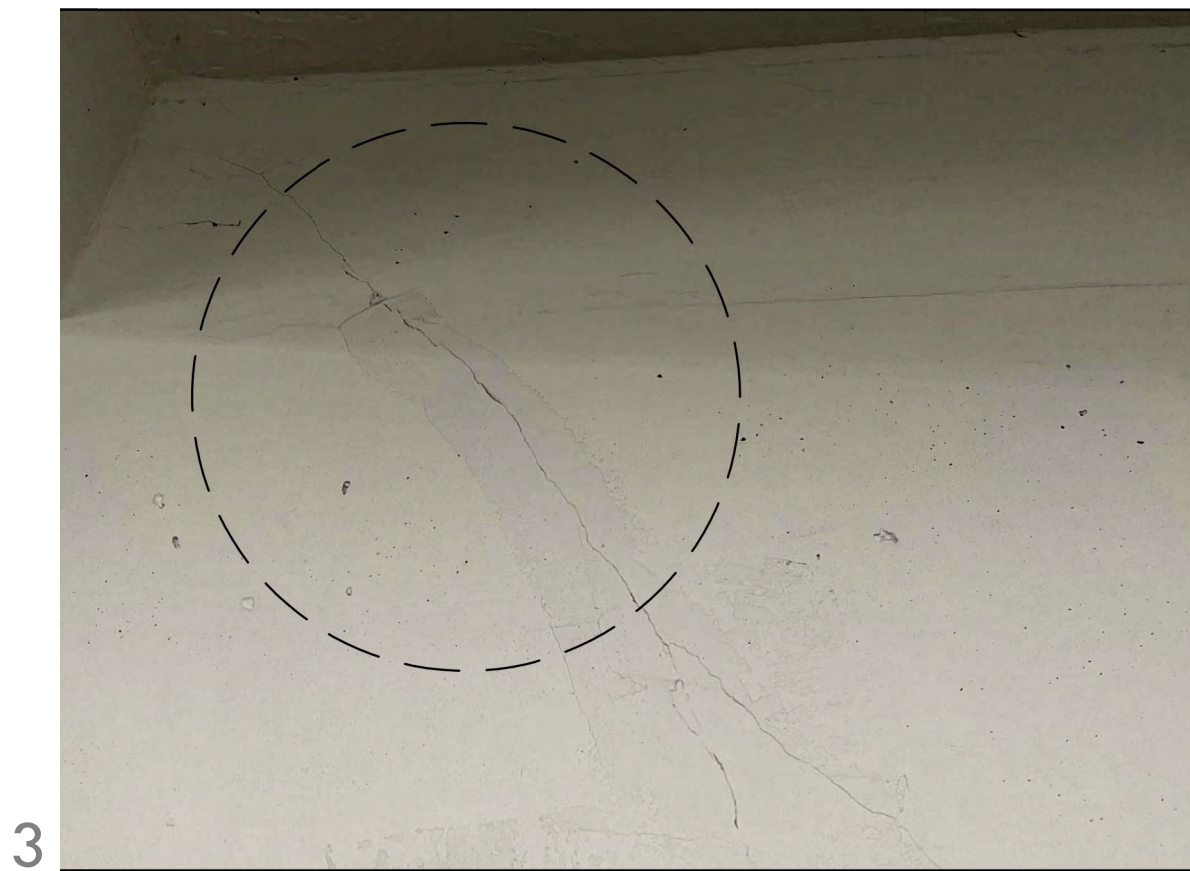
**CORROSION OF CONCRETE SLAB AT CORNER**

**DAMAGE 2**



**WHEEL-STOPS WITH INADEQUATE SUPPORT**

**DAMAGE 3**



**DIAGONAL CRACKING OF RC POST-TENSIONED BEAMS**

<b>ADDRESS</b>		
268 AVE. MUÑOZ RIVERA SAN JUAN P.R.		
<b>OWNER</b>		
PODER JUDICIAL		
<b>REGISTER NO.</b>		
0 6 3 - 0 3 1 - 6 3 9 - 0 2		
<b>REVISIONS</b>		
REV. DATE	DESCRIPTION	BY CHK'D

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**IPG INGENIUM**  
 PROFESSIONAL GROUP PSC  
 654 Ave. Muñoz Rivera - Suite 1838 - 654  
 Plaza, San Juan, PR 00738  
 Tel. (787) 918-5890 / 5891  
 Email: info@ingenium.group

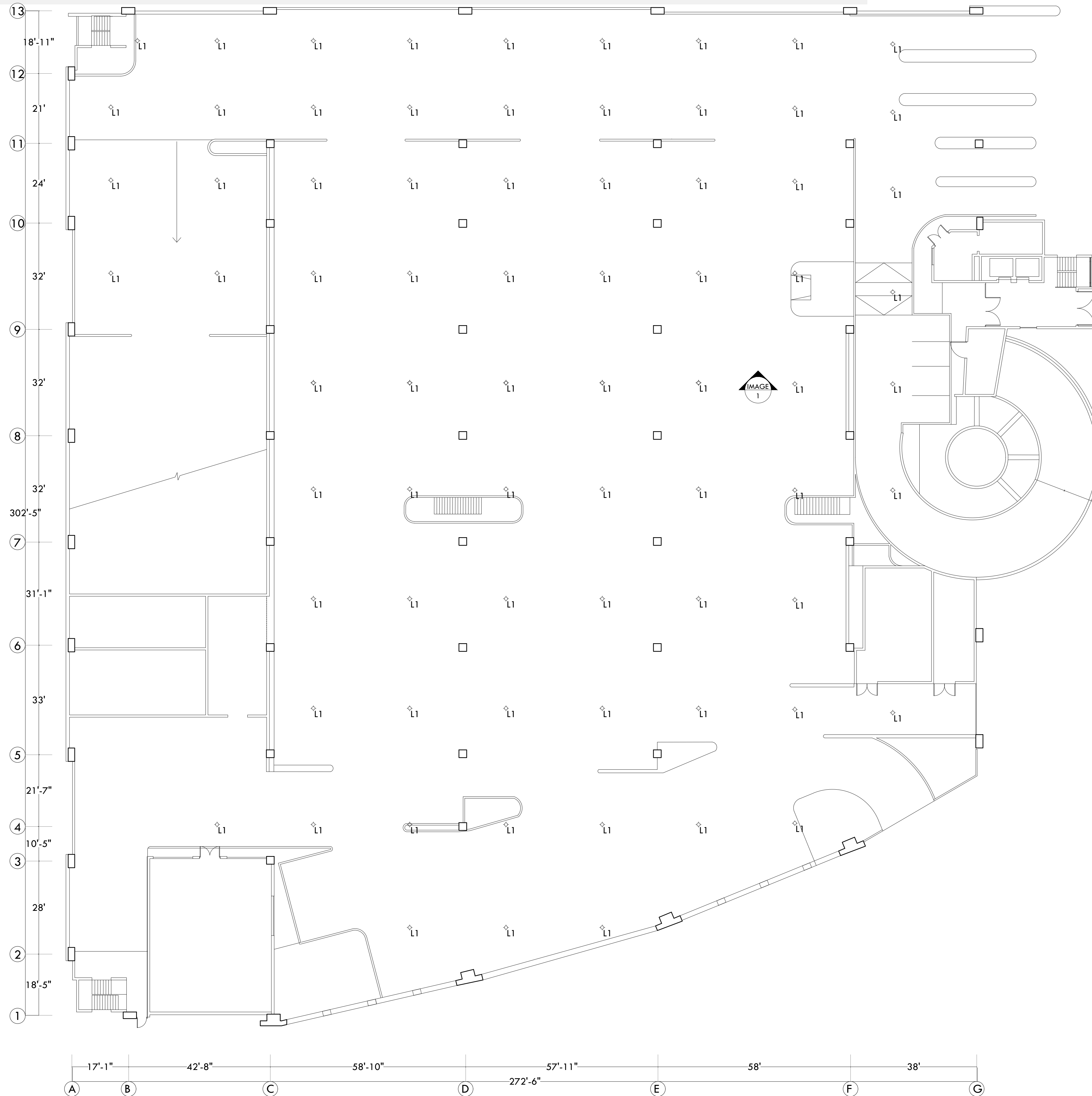
**SIGNATURE**  


RECOMMENDATIONS	
DAMAGE	DESCRIPTION
1	WHEN OCCURS, APPLY TABLE R606.2.8 AND PLASTERING RECOMMENDATION ON SHEET 502, DETAIL A-2
2	WHEN OCCURS, STRAIGHTEN, ANCHOR AND PAINT.
3	WHEN OCCURS, APPLY RECOMMENDATION ON SHEET 502, DETAIL A-8

- GENERAL NOTES**
- CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT
  - PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.
  - PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

**STRUCTURAL REPAIRS (RECOMMENDATIONS) - FIRST LEVEL**

FIRST LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	73	EXISTING LIGHTING

ADDRESS  
268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER  
PODER JUDICIAL

PHOTOGRAPHIC DOCUMENTATION

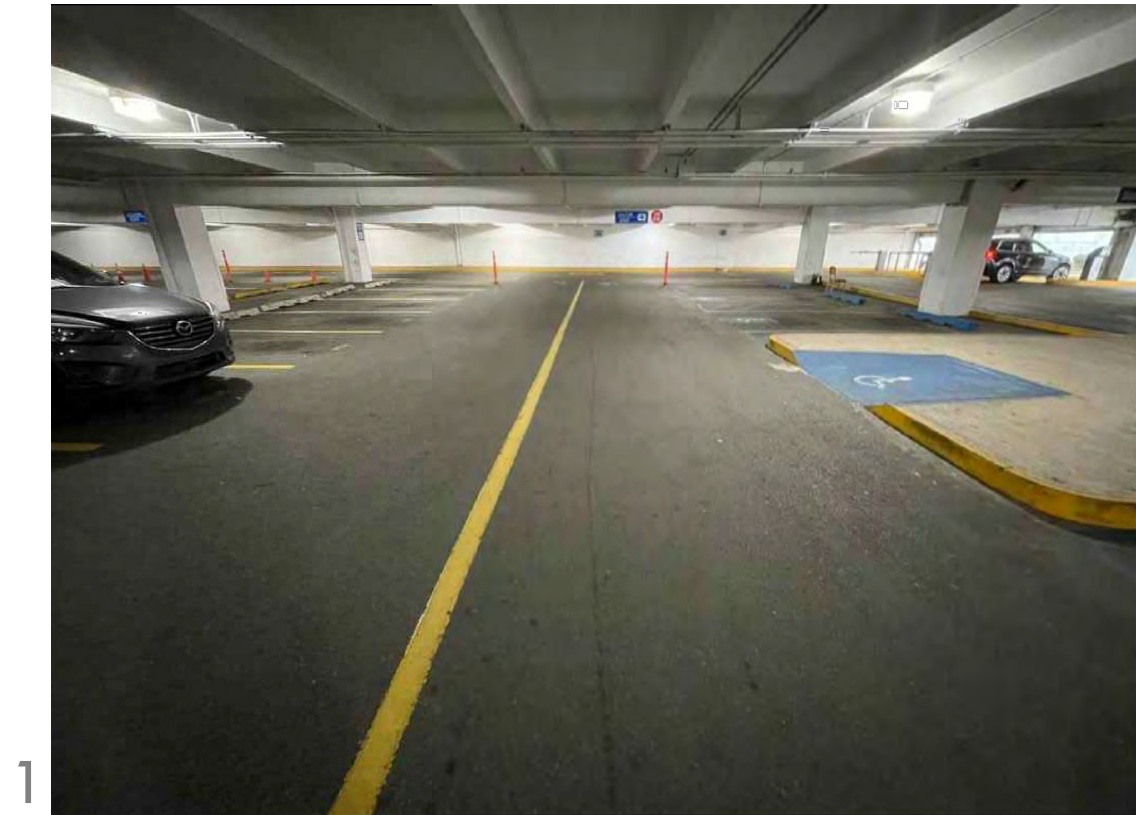


IMAGE 1

EXISTING LIGHTING

REGISTER NO.  
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS  
REV. DATE DESCRIPTION BY CHK'D

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GENERAL NOTES

1. LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
2. THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
3. IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
4. OUTDOOR SPOTLIGHT IP-66.
5. THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.



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Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: ESPACIAMENTO WORLD PLAZA GROUNDING  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

EXISTING LIGHTING- FIRST LEVEL

DRAWING NO.

E-100

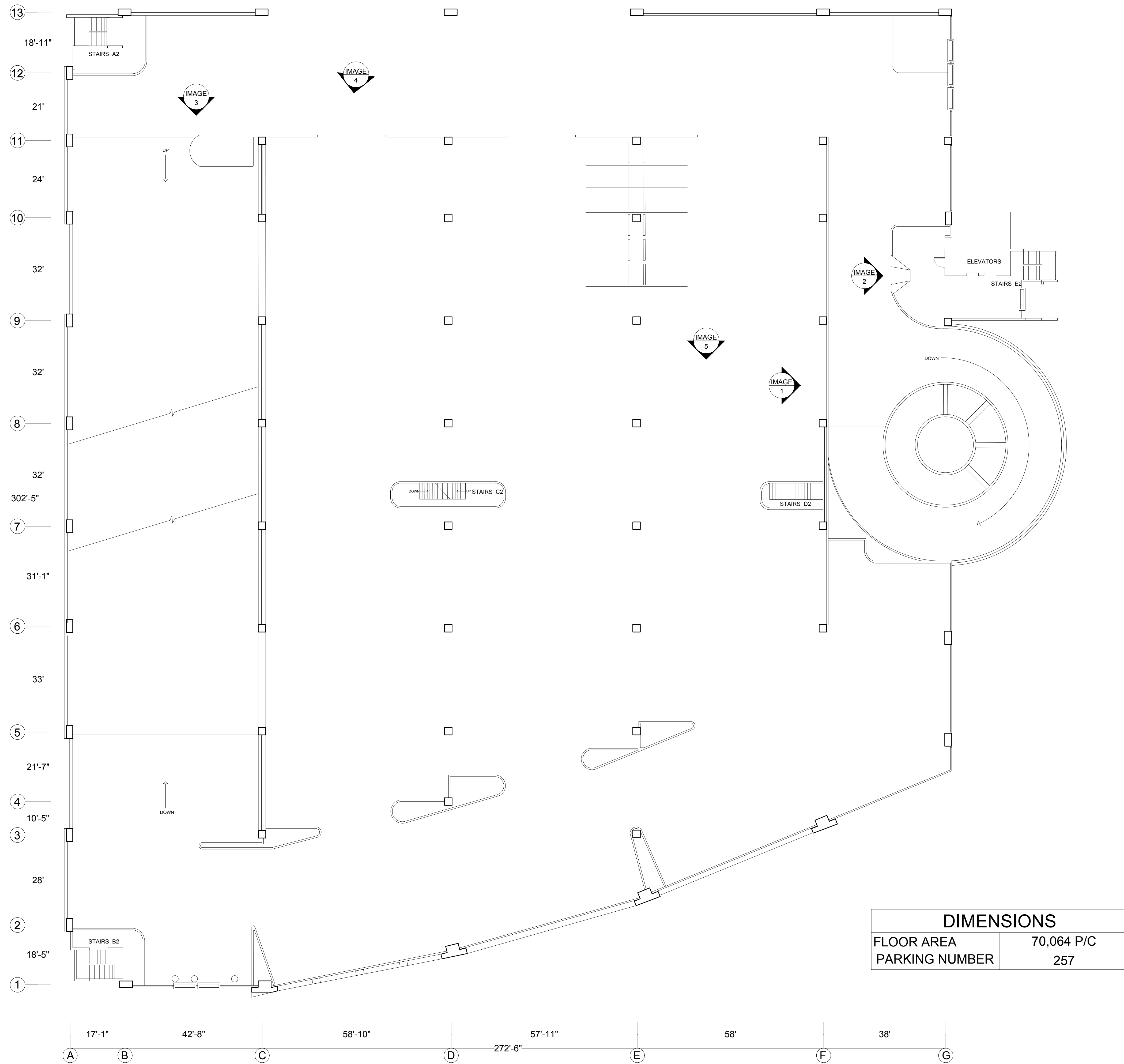
PAGE: 4/30

EXISTING LIGHTING- FIRST LEVEL

SCALE NTS



SECOND LEVEL PARKING AS-BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT



DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	257

PARKING AS-BUILT-SECOND LEVEL

SCALE NTS

PHOTO DOCUMENTATION

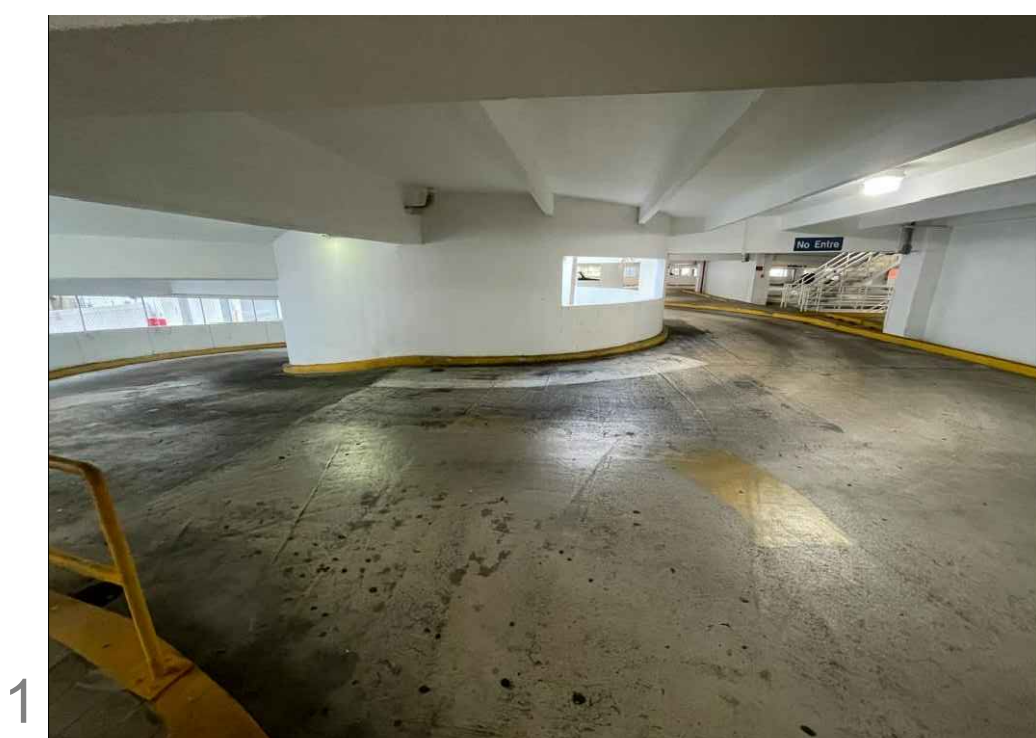


IMAGE 1

TYPICAL PARKING AREA

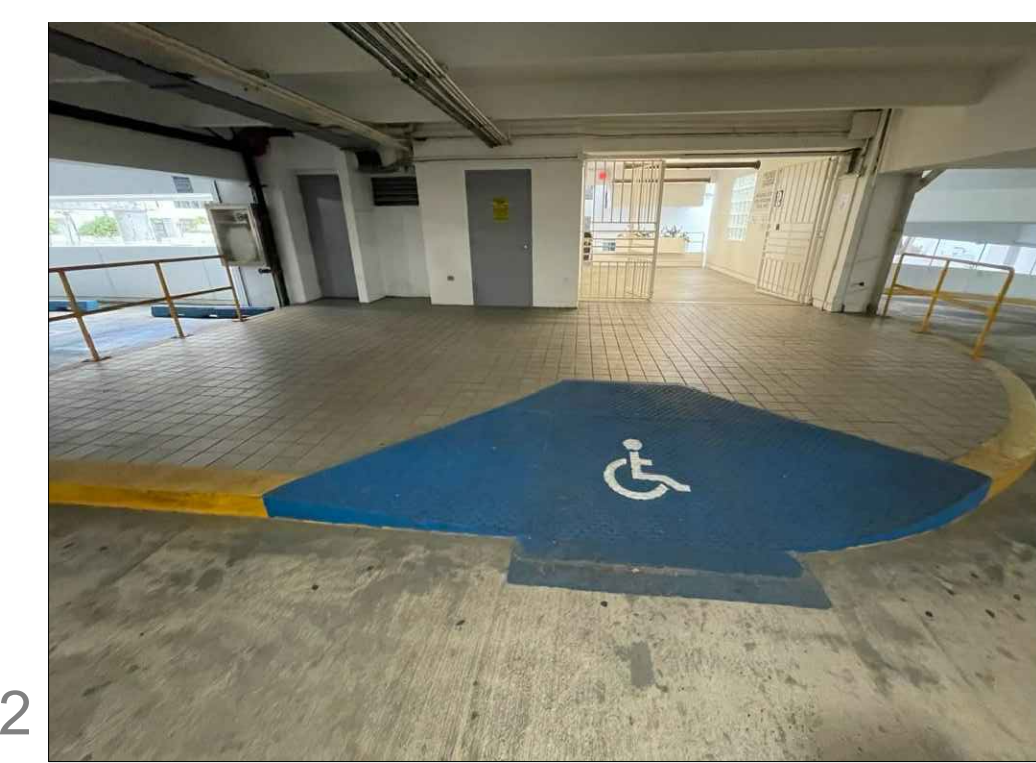


IMAGE 2

TYPICAL ADA CURB RAMP PAINT REQUIREMENT

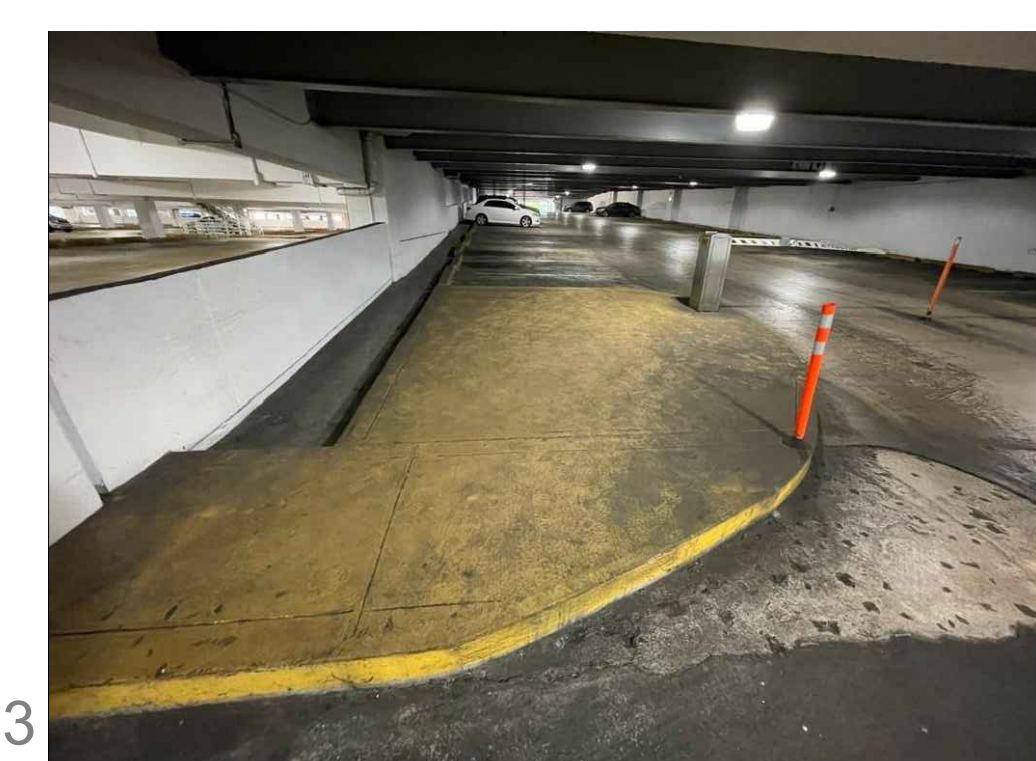


IMAGE 3

TYPICAL CURB PAINT REQUIREMENT

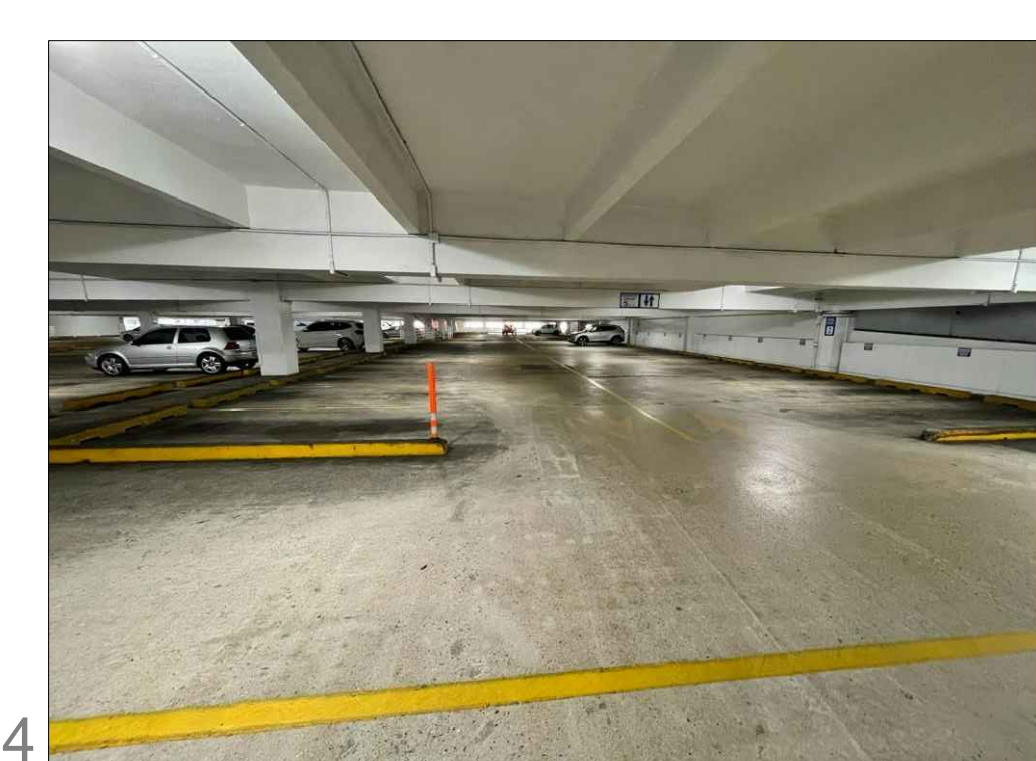


IMAGE 4

TYPICAL PARKING AREA

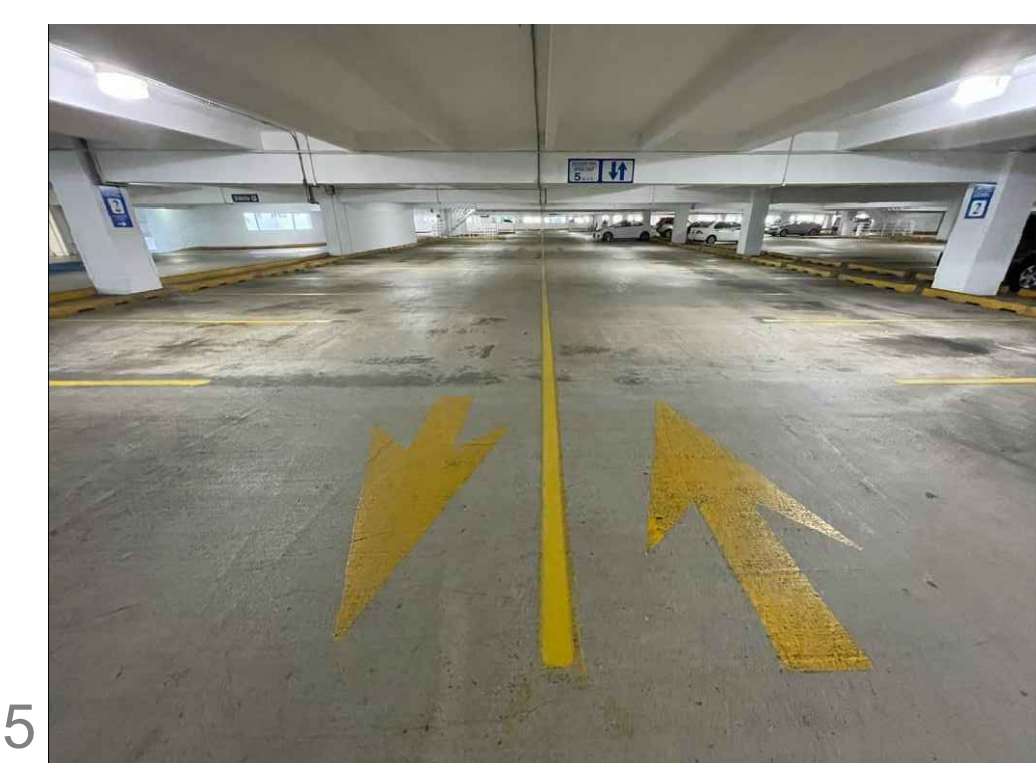


IMAGE 5

TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

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CERTIFICATION

I, WILLIAM MELÉNDEZ RIVAS, LIC. SEBES, CERTIFY THAT I AM THE PROFESSIONAL WHO (DRAWE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 18-2005, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE LAW NO. 233 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE DGPE.



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Email: info@ingenium.group

SIGNATURE



FILE

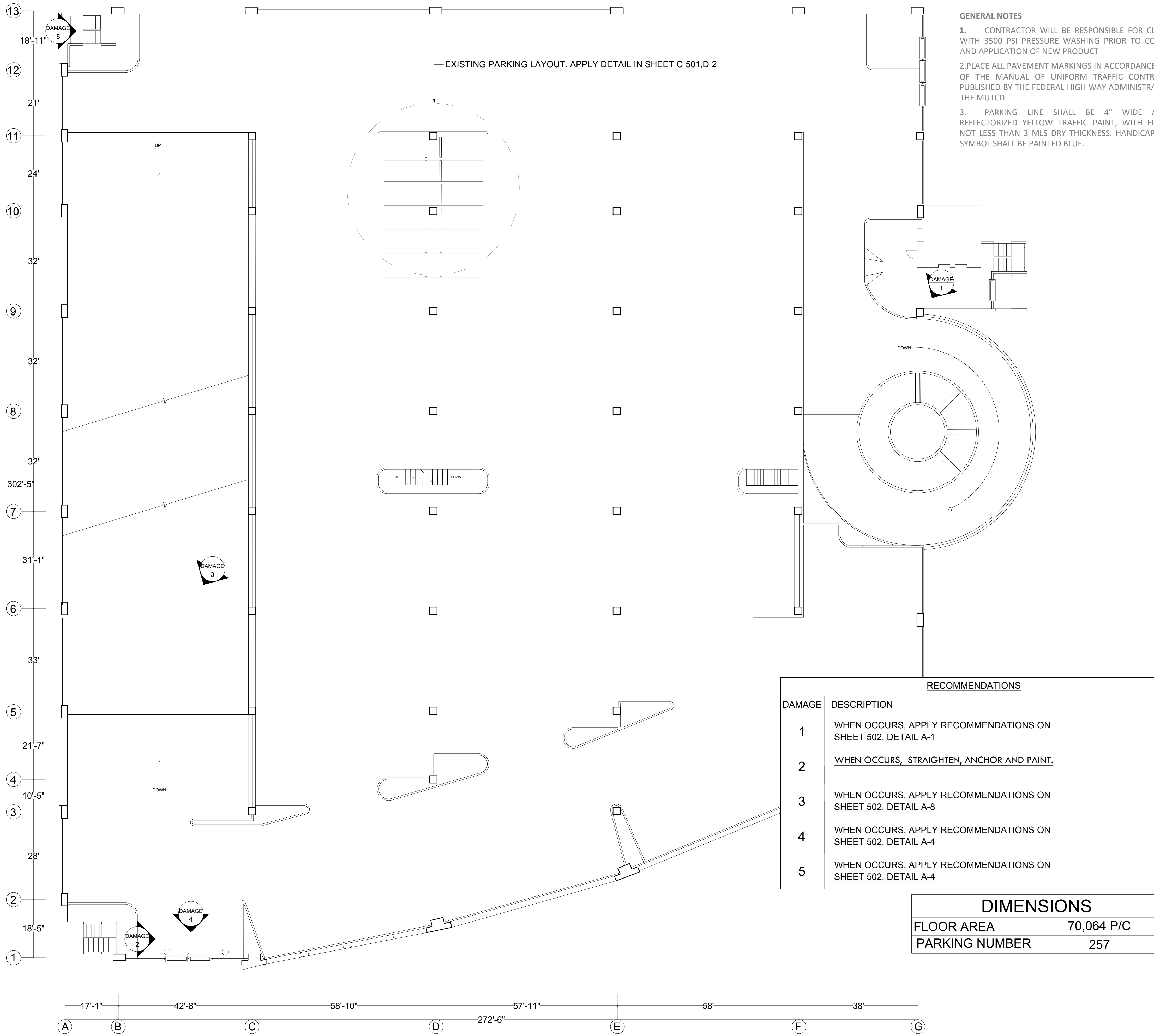
Dwg Name: WML204g  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Meléndez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

PARKING AS-BUILT - SECOND LEVEL

DRAWING NO.

C-101



**GENERAL NOTES**

1. CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT
2. PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.
3. PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

RECOMMENDATIONS	
DAMAGE	DESCRIPTION
1	WHEN OCCURS, APPLY RECOMMENDATIONS ON SHEET 502, DETAIL A-1
2	WHEN OCCURS, STRAIGHTEN, ANCHOR AND PAINT.
3	WHEN OCCURS, APPLY RECOMMENDATIONS ON SHEET 502, DETAIL A-8
4	WHEN OCCURS, APPLY RECOMMENDATIONS ON SHEET 502, DETAIL A-4
5	WHEN OCCURS, APPLY RECOMMENDATIONS ON SHEET 502, DETAIL A-4

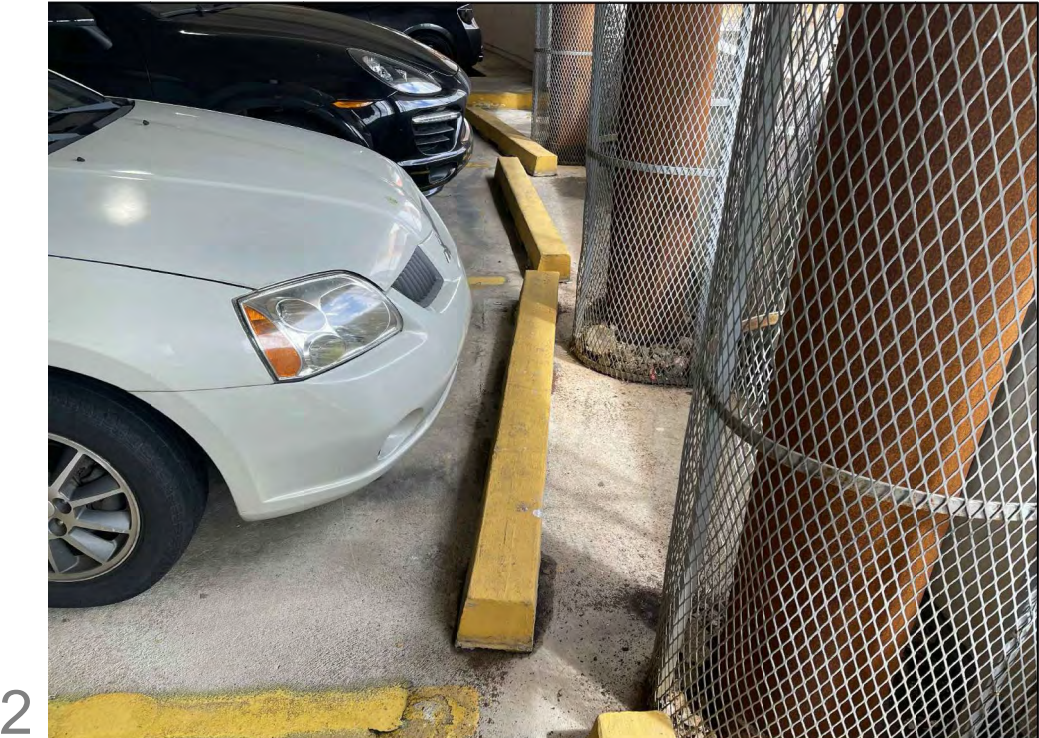
DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	257

PHOTO DOCUMENTATION



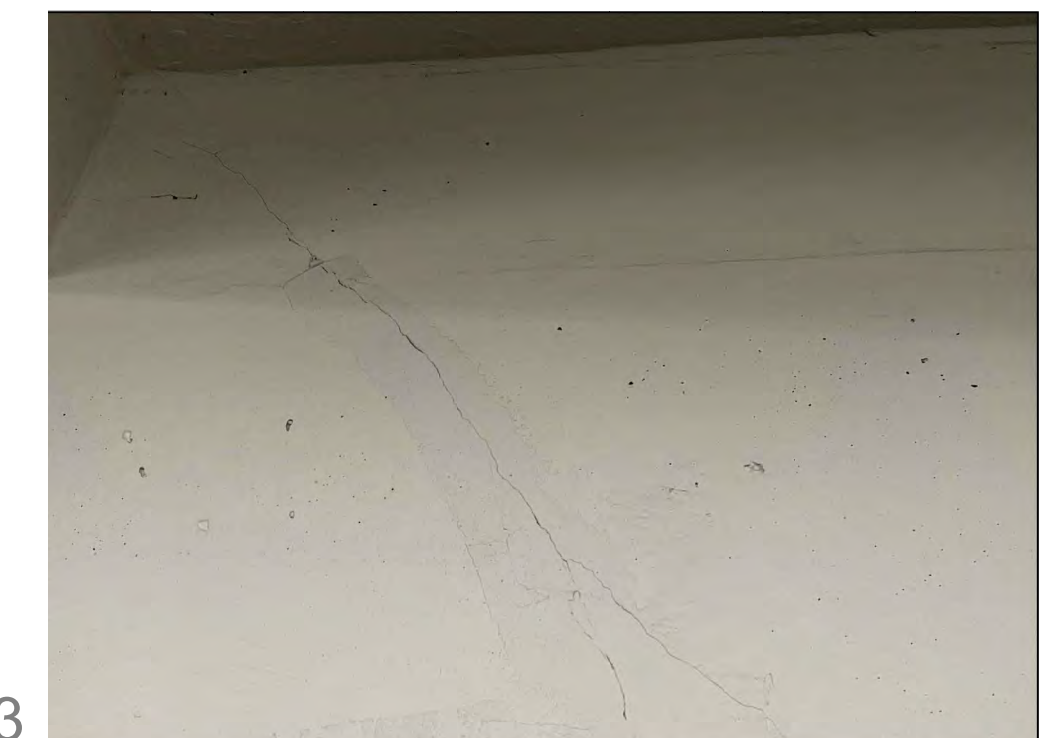
DAMAGE 1

EXPANSION JOINT WITH INADEQUATE SPACE



DAMAGE 2

WHEEL-STOP WITH INADEQUATE SUPPORT



DAMAGE 3

DIAGONAL CRACK OF POST-TENSIONED BEAMS AT RAMP



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

CORROSION IN BEAM OF STAIR AT SOUTH-WEST CORNER

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

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PODER JUDICIAL

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0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

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Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: WML2024g  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

STRUCTURAL RECOMMENDATIONS - SECOND LEVEL

DRAWING NO.

A-101

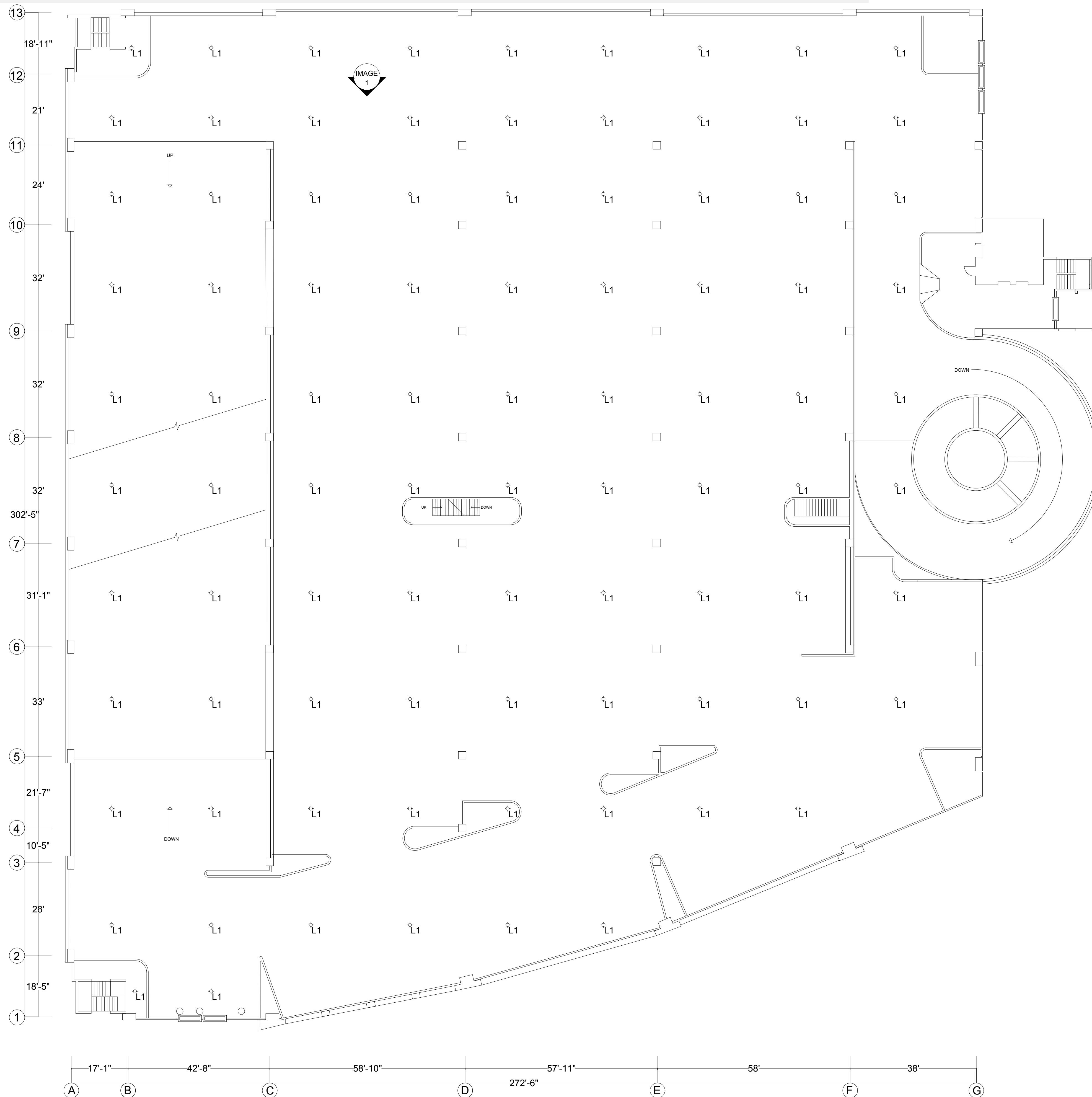
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7/30

STRUCTURAL REPAIRS (RECOMMENDATIONS)-SECOND LEVEL

SCALE NTS

SECOND LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	88	EXISTING LIGHTING

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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Email: info@ingenium.group

SIGNATURE



FILE

Dwg Name: WEL24g  
Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
Revised by: Eng. W. Meléndez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

EXISTING LIGHTING-SECOND LEVEL

DRAWING NO.

E-103

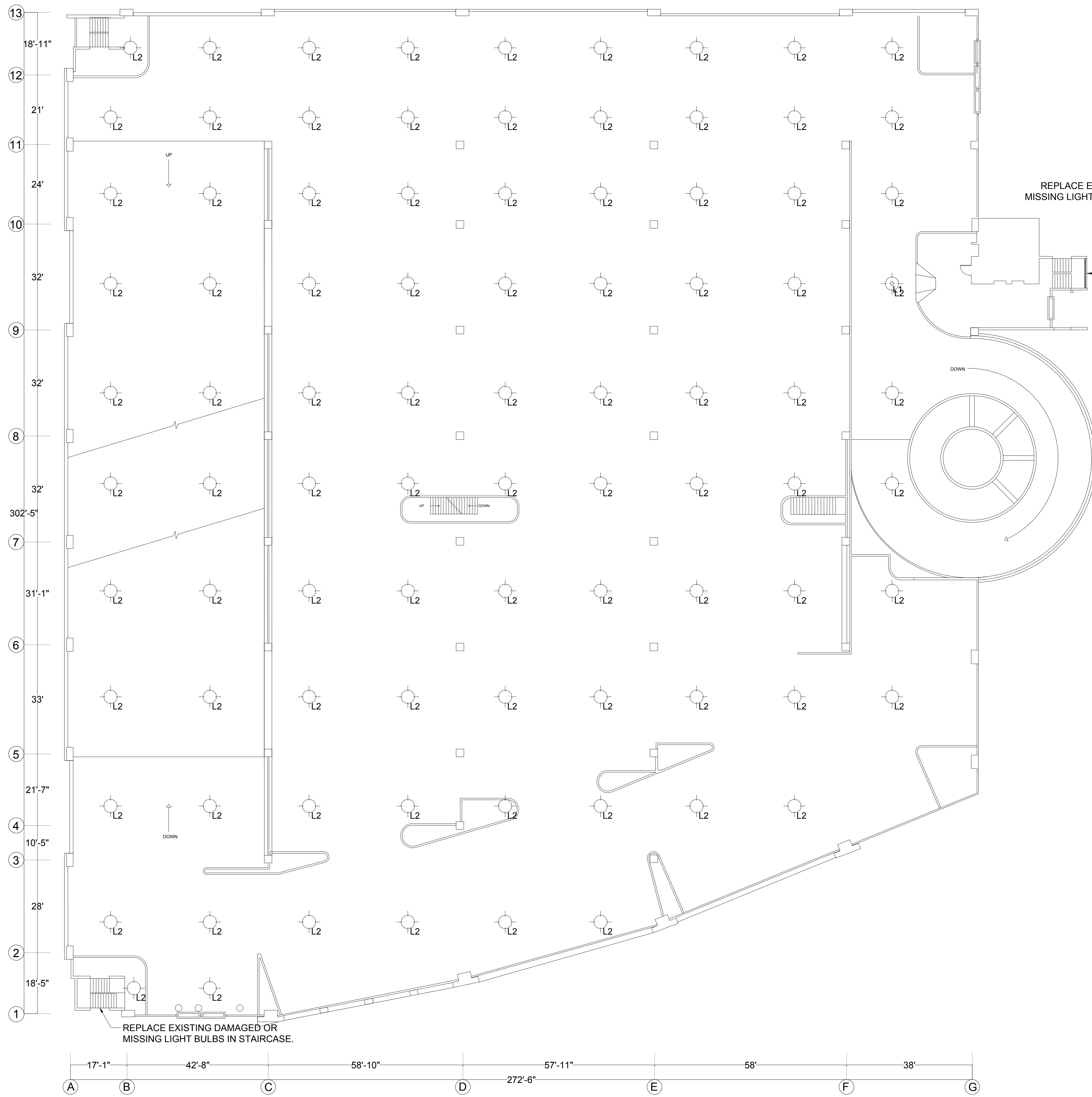
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EXISTING LIGHTING-SECOND LEVEL

SCALE NTS



SECOND LEVEL PROPOSED LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



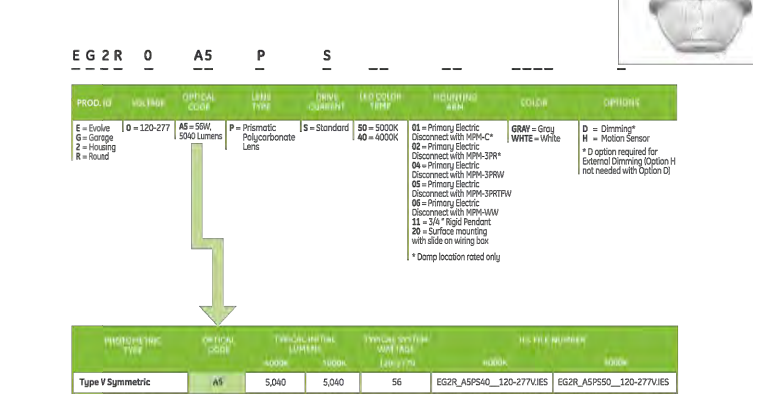
LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	88	EVOLVE LED GARAGE LIGHT

GE Lighting

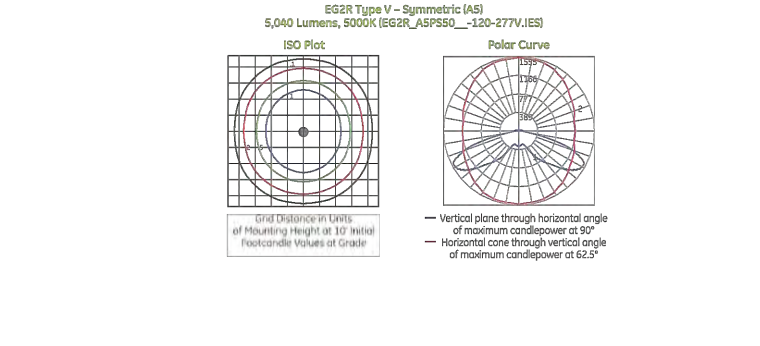
Evolve™ LED Garage Light (EGZR)



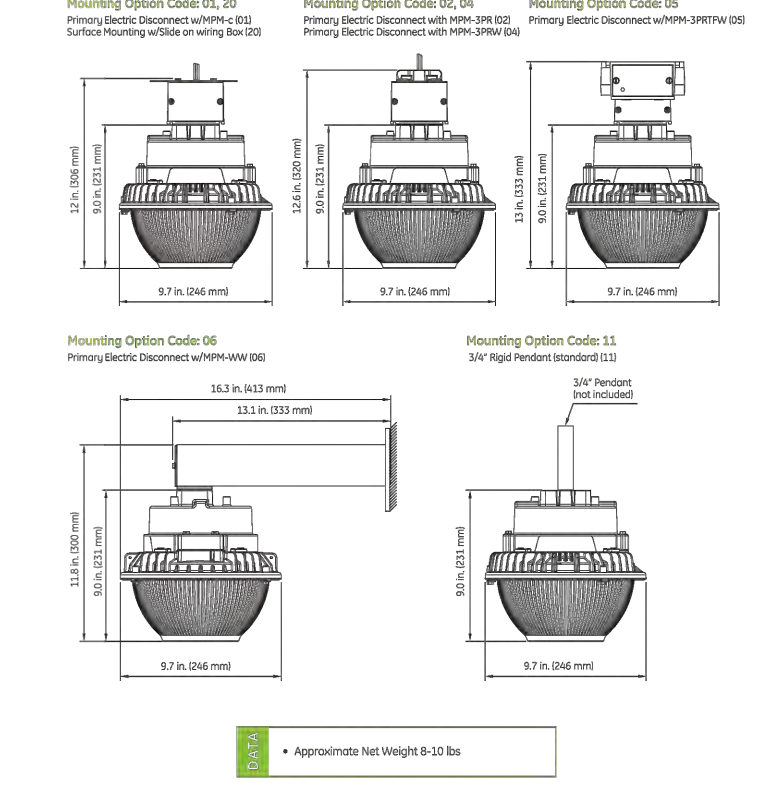
Ordering Number Logic



Photometrics



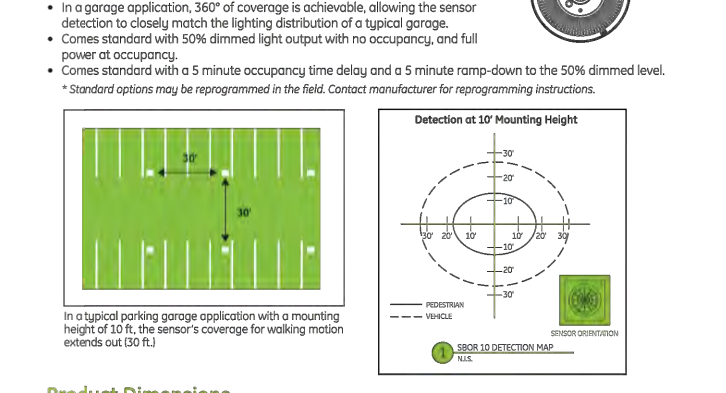
Product Dimensions



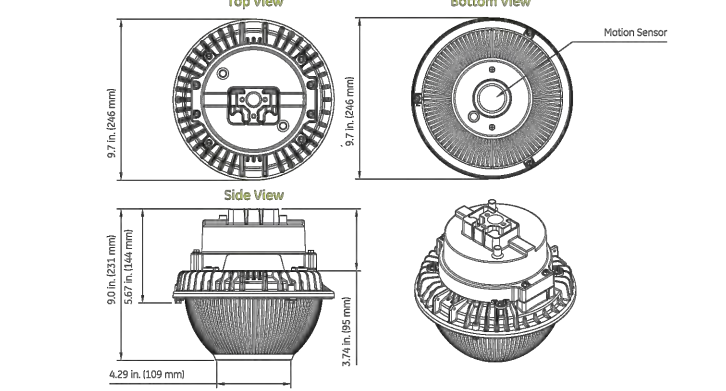
Product Features

- High quality lighting meets long life and controllability with the Evolve™ LED Garage Light, EGZR. This fixture features an advanced LED chip specifically designed for applications such as parking areas with low mounting height to provide high uniformity and excellent vertical light distribution with reduced glare. Illuminating your parking area with effective lighting light levels.
  - Features include programmable motion sensing, easy dimming and daylight harvesting. LED optical approach with advanced optics and optics are available in low beam and wide beam for low mounting height garage applications.
  - Adjustability: All lighting is a directional product, feature of the EGZR, providing a clear friendly appearance, and eliminating the "glare effect" that often occurs without a light.
  - The Evolve™ LED Garage Light significantly reduces energy and maintenance expenses over the life of the system with a rated life of 100,000 hrs and a 5-year warranty, saving you a great deal on the lighting solution.
- Applications**
- Garage, warehouse, walkway and roadway lighting.
- Mounting**
- Mounting options with location setting (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z).
  - Mounting options with damp location setting (A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z).
- LED is Optical Assembly**
- Evolve™ light engine consisting of reflective technology designed to optimize application efficiency and produce a beam-type lighting solution.
  - Ultra-high brightness LEDs, 100% optical output and 9000K.
- Lumen Measurements**
- 120° beam
  - 120° beam
  - 120° beam
- Roatings**
- IP67 rated per UL 1816.
  - IP67 rated per UL 1816.
  - IP67 rated per UL 1816.
- Electrical**
- 120V AC
  - 50/60Hz
  - Power factor is > 0.95
  - Power factor is > 0.95
  - Power factor is > 0.95
- Dimensions**
- Mounting height: 10'-0" to 12'-0"
  - Mounting height: 10'-0" to 12'-0"
  - Mounting height: 10'-0" to 12'-0"

H-Motion Sensing Option



Garage with Motion Sensor



ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

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REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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Tel. (787) 918-5890 / 5891  
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SIGNATURE



FILE

Dwg Name: WEL2.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

PROPOSED LIGHTING - SECOND LEVEL

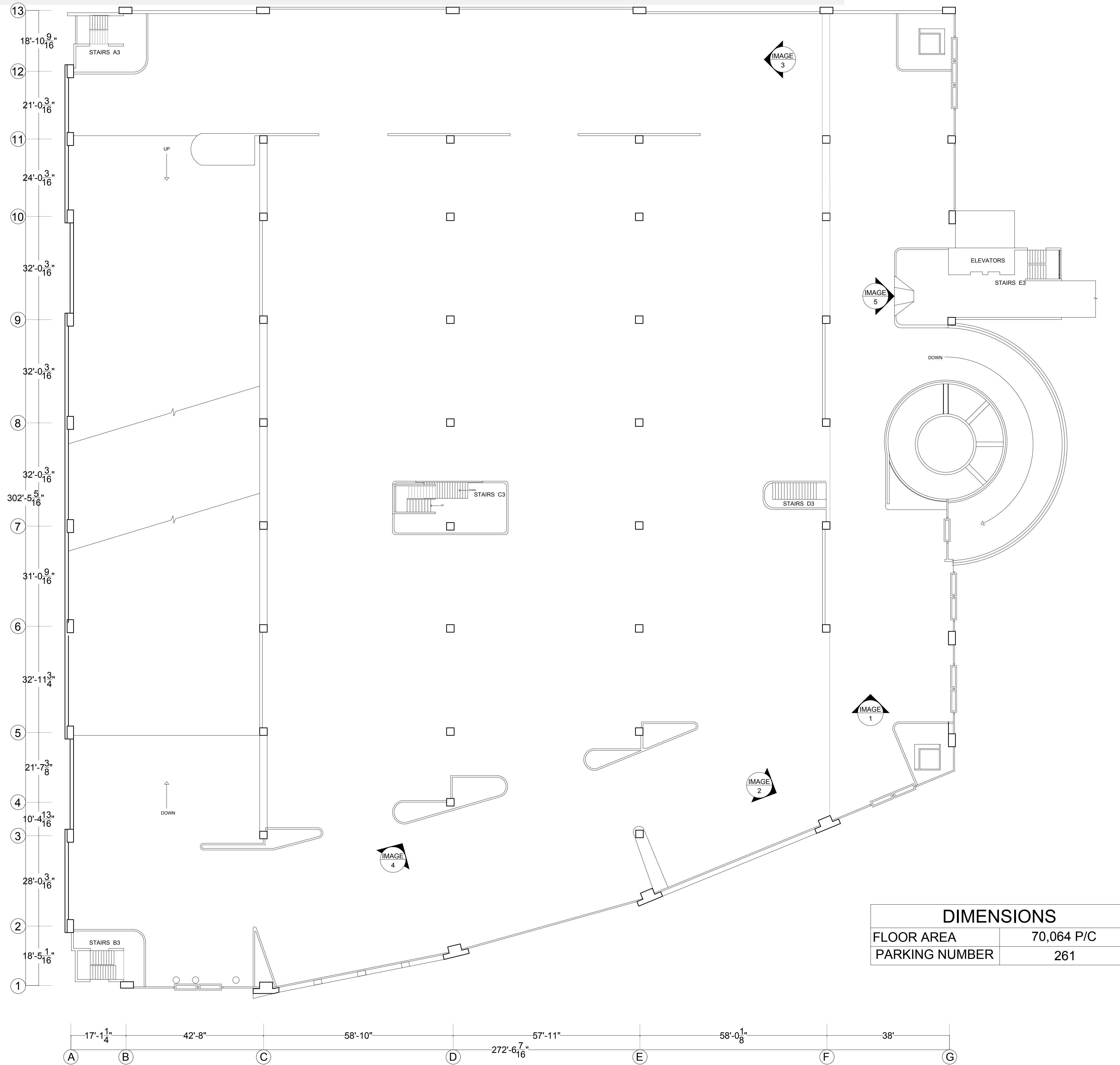
DRAWING NO.

E-104

PROPOSED LIGHTING-SECOND LEVEL

SCALE NTS

THIRD LEVEL PARKING AS - BUILT- WORLD PLAZA PARKING LOT IMPROVEMENT



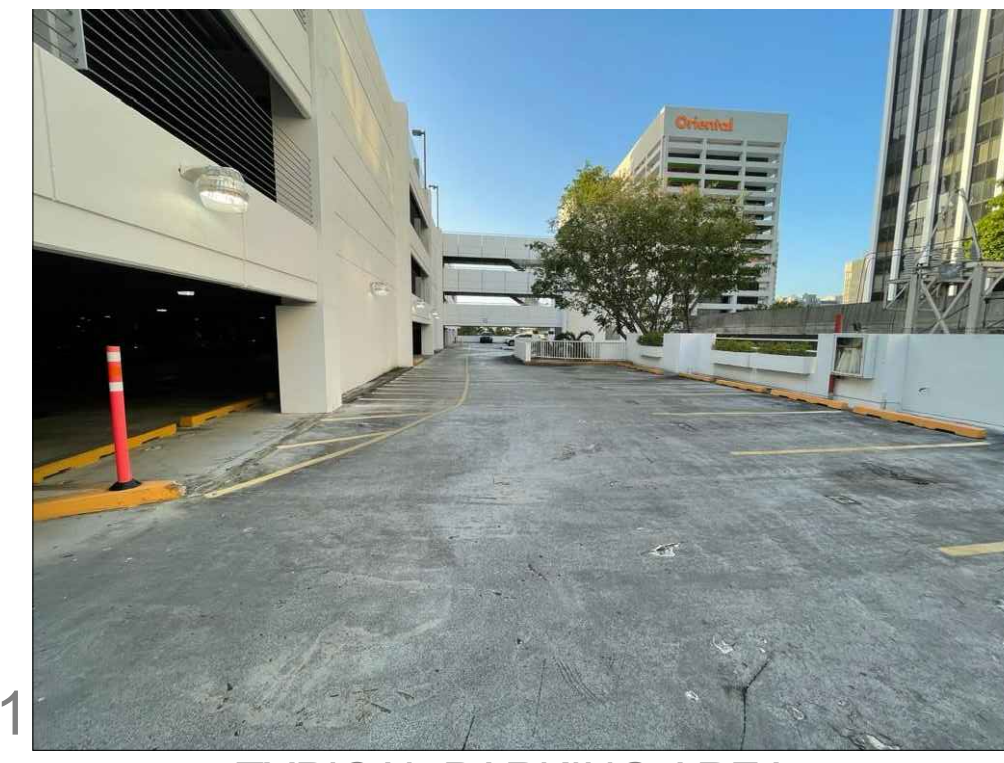
DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	261

PARKING AS-BUILT- THIRD LEVEL

SCALE NTS

PHOTO DOCUMENTATION

IMAGE 1



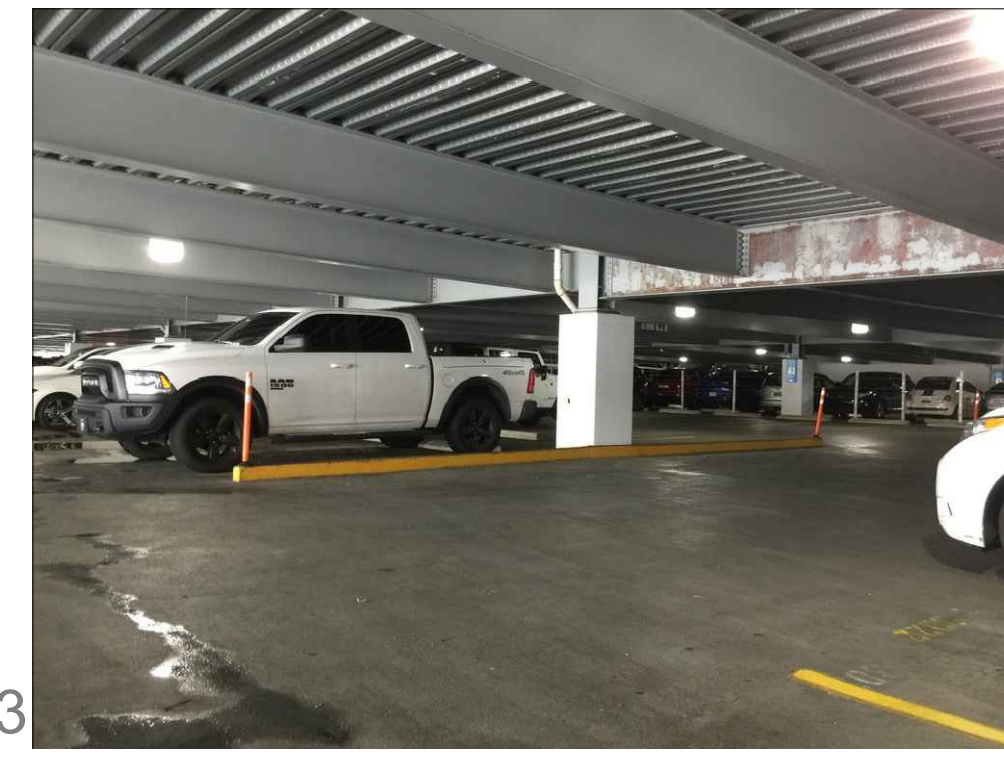
TYPICAL PARKING AREA

IMAGE 2



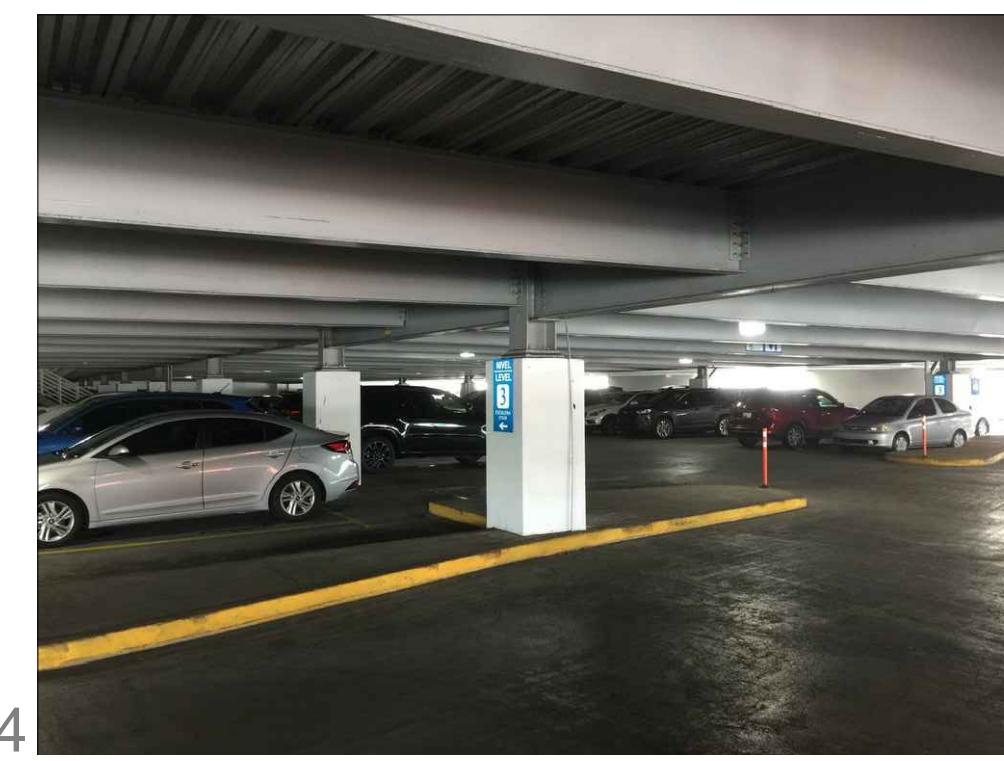
FIRE CONTROLS SYSTEMS TO BE PAINTED

IMAGE 3



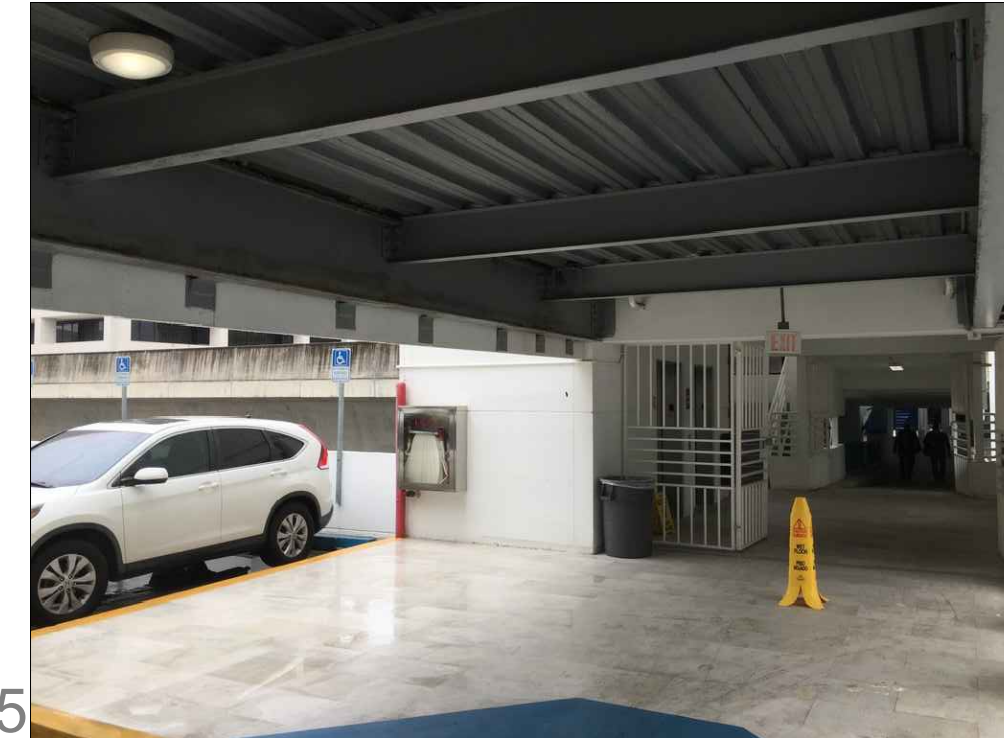
TYPICAL PARKING AREA EXISTING CONDITIONS

IMAGE 4



TYPICAL PARKING AREA

IMAGE 5



STRUCTURAL MEMBERS VIEW OF PEDESTRIAN BRIDGE BETWEEN BUILDING AND PARKING LOTS LEVELS 4 TO 6

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D
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---	---	---	---	---
---	---	---	---	---
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---	---	---	---	---

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SIGNATURE



FILE

Dwg Name: ME3.3.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

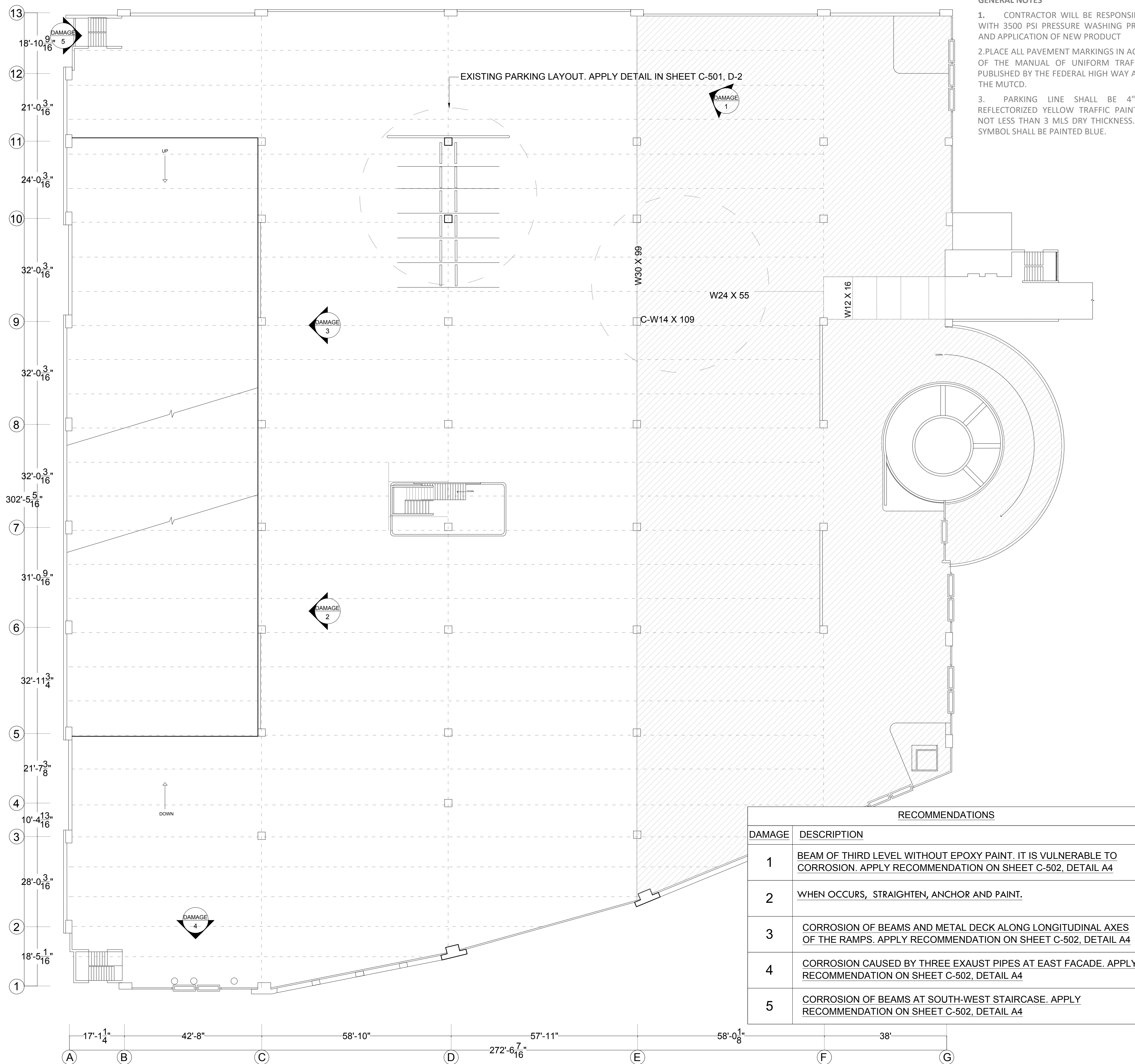
TITLE

PARKING AS-BUILT-THIRD LEVEL

DRAWING NO.

C-102

**THIRD LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT**

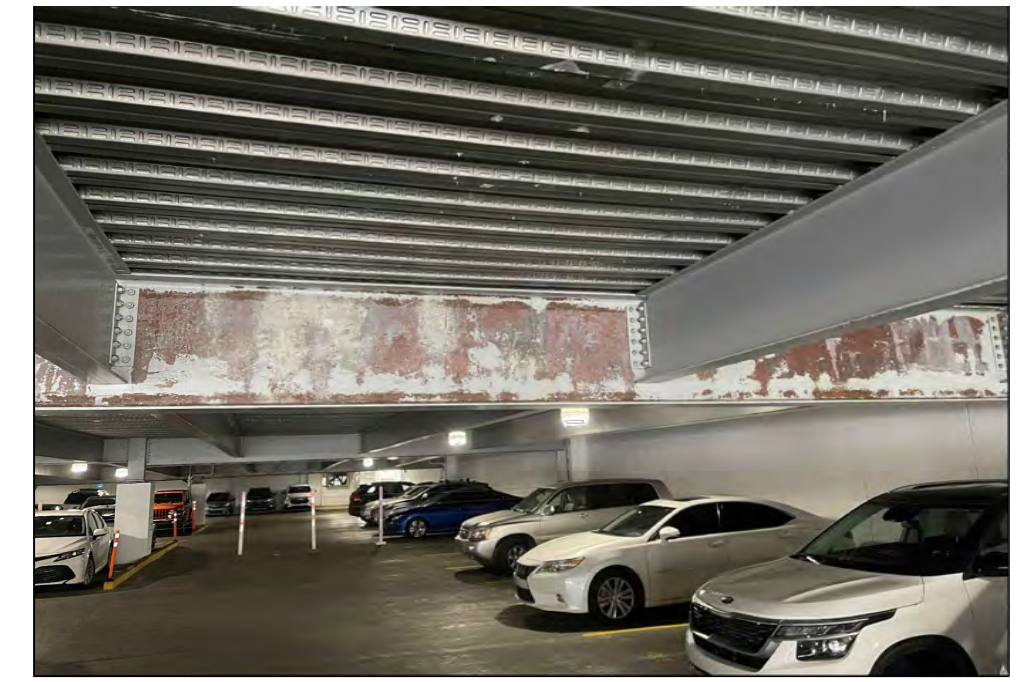


**GENERAL NOTES**

- CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT
- PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.
- PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MILS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

**PHOTO DOCUMENTATION**

**DAMAGE 1**



BEAM OF THIRD LEVEL WITHOUT EPOXY PAINT. IT IS VULNERABLE TO CORROSION

**DAMAGE 2**



WHEEL-STOPS WITH INADEQUATE SUPPORT

**DAMAGE 3**



CORROSION OF BEAMS AND METAL DECK ALONG LONGITUDINAL AXES OF THE RAMPS

**DAMAGE 4**



CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE

**DAMAGE 5**



CORROSION OF BEAMS OF STAIR AT SOUTH-WEST STAIR

**ADDRESS**

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

**OWNER**

PODER JUDICIAL

**REGISTER NO.**

0 6 3 - 0 3 1 - 6 3 9 - 0 2

**REVISIONS**

REV. DATE DESCRIPTION BY CHK'D

**IMPORTANT NOTES TO THE CONTRACTOR:**

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED.

IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING SO WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

**CERTIFICATION**

I, WILLIAM MELÉNDEZ RIVERA, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 44-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE LAW NO. 109 OF MAY 15, 1998, AS AMENDED, ACT NO. 96 OF JULY 14, 1998, AS AMENDED AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE C.O.P.E.



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Email: info@ingenium.group

**SIGNATURE**



**FILE**

Dwg Name: ME3.3.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP/PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

**TITLE**

STRUCTURAL RECOMMENDATIONS-THIRD LEVEL

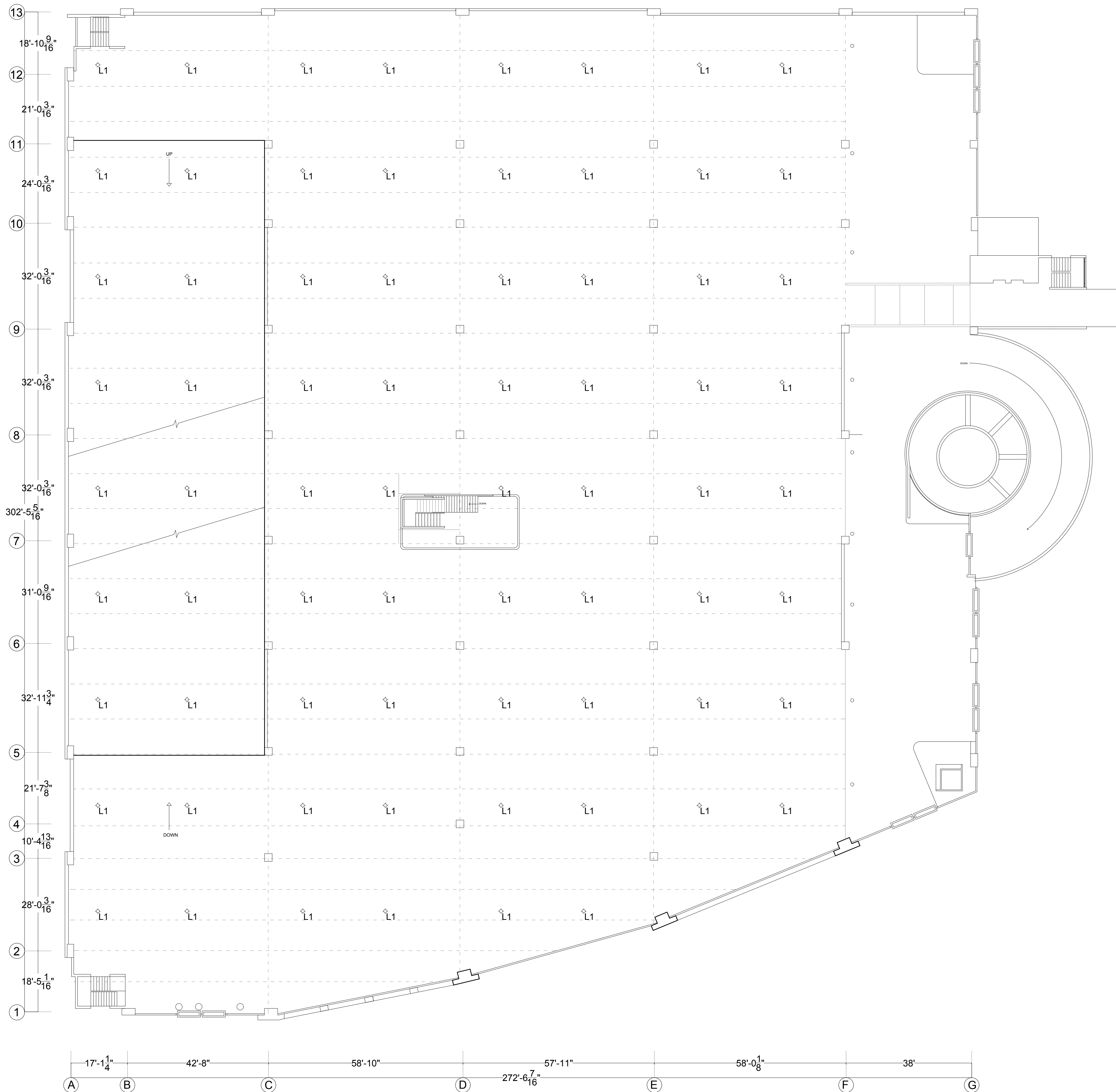
**DRAWING NO.**

A-103

**STRUCTURAL REPAIRS (RECOMMENDATIONS)-THIRD LEVEL**

SCALE NTS

THIRD LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



			LEGEND
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	70	EXISTING LIGHTING

GENERAL NOTES

- 1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
- 2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
- 3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
- 4.OUTDOOR SPOTLIGHT IP-66.
- 5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

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OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHKD
--	--	--	--	--

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CERTIFICATION

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SIGNATURE



FILE

Dwg Name: ME3.3.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP P.S.C.  
Revised by: Eng. W. Meléndez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

EXISTING LIGHTING-THIRD LEVEL

DRAWING NO.

E-104

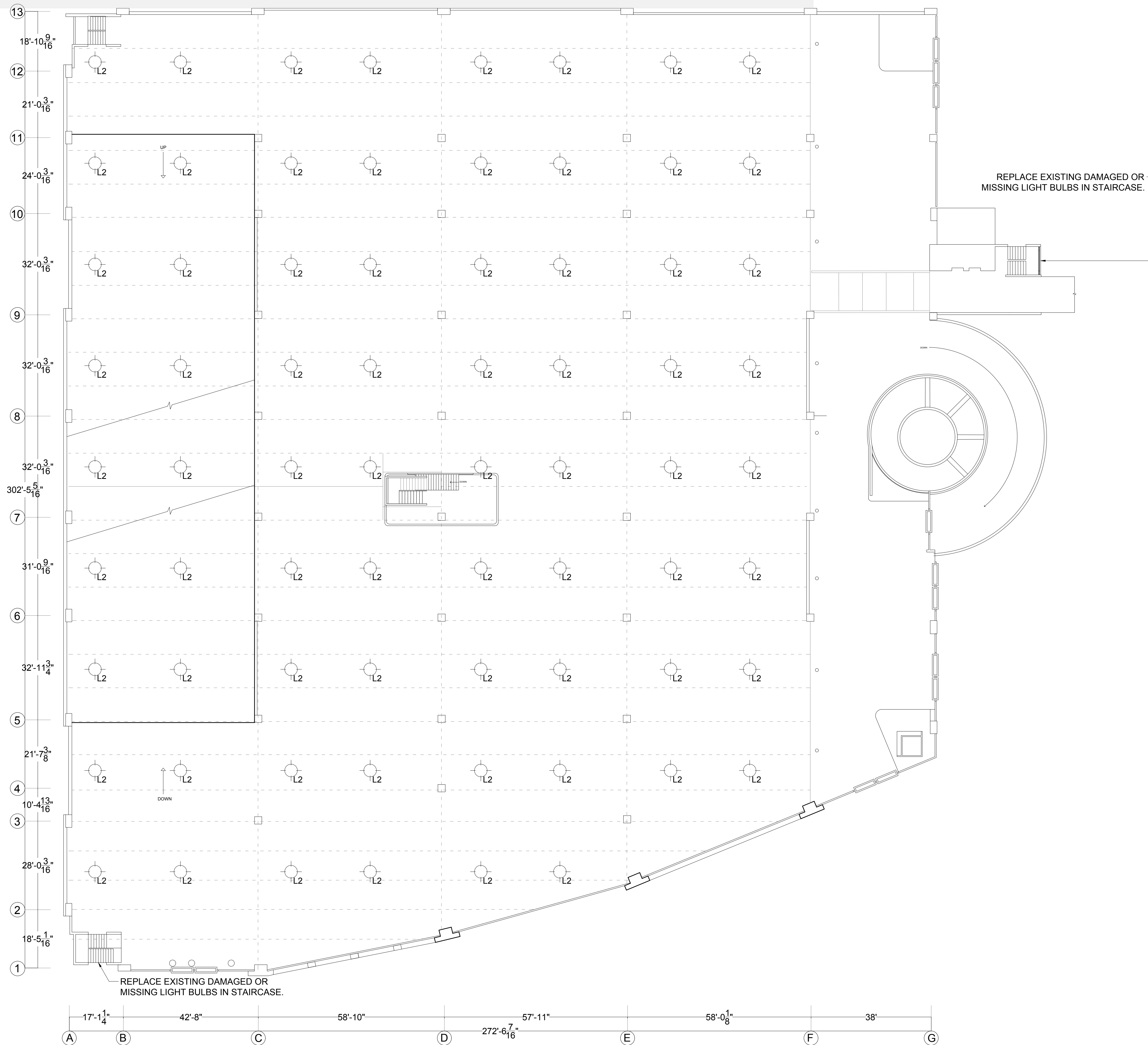
PAGE:

12/30

EXISTING LIGHTING-THIRD LEVEL

SCALE NTS

THIRD LEVEL PROPOSED LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	70	EVOLVE LED GARAGE LIGHT

GE Lighting

Evolve™ LED Garage Light



**Product Features**

- High quality lighting needs long life and compatibility with the Evolve™ LED Garage Light, E20K. The fixture features an advanced LED optics specifically designed for applications such as parking decks with low mounting heights to provide high uniformity and excellent vertical light distribution with reduced glare. Minimizing glare means more effective security light levels.
- Features include programmable motion sensing, auto dimming and daylight harvesting. LED motion approach with reflective optics and parabolic lens provides a low glare solution ideal for low mounting height garage applications. Additionally, up lighting is a standard feature. Features include a 100% dimming range, auto dimming, auto dimming, and auto dimming the "zone effect" that often occurs without up light.
- The fixture is designed for applications requiring energy and maintenance expenses over the life of the system with a mean life of 100,000 hours and a 5-year warranty. Contact your GE Lighting representative for more information.

**Applications**

- Garage, warehouse, roadway and outdoor lighting

**Housing**

- Die cast aluminum heat sink to maximize heat transfer for electrical components and provide long LED life.

**LED & Optical Assembly**

- Evolve™ light engine consisting of effective, advanced LED optics and reflective optics.
- Advanced optical design.
- Ultra high brightness LEDs, 100,000 hours at 4000K and 10000.

**Lumen Maintenance**

- Projected L70/L80 > 100,000 hours at 25°C per E174-21.

**Mounting**

- Available with seven different mounting options providing a versatile product to meet almost any field installation condition.
- Mounting options with wet location rating: 0A, 0L, 0L, 0L, 0L.
- Mounting options with damp location rating: 0L, 0L, 0L.

**Finish**

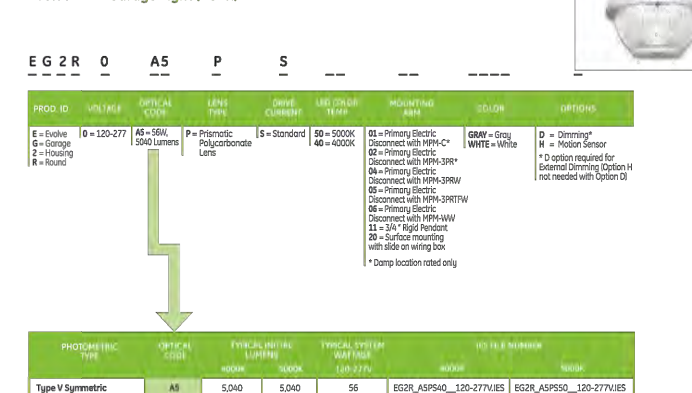
- Corrosion resistant polycarbonate powder paint, minimum 2.0 mil thickness.
- Standard options: Gray, White, Black, and custom colors available.

**Electrical**

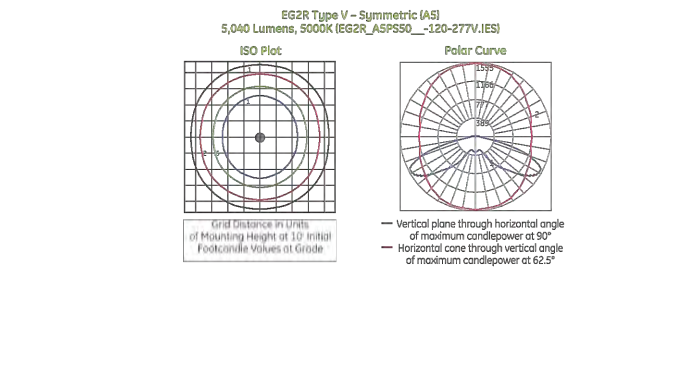
- 120-277V ac.
- System power factor is 96% and THD < 20%.
- Class II, 50°C ambient.
- Weighted average projection exceeds ANSI C136.2-2013 "Beam Spread" LED fixture.
- Dimensions: 10.5" H, 10.5" W, 10.5" D.
- 10" Dia. (10.5" Dia. with mounting bracket).
- Optional programmable motion sensor dimming.



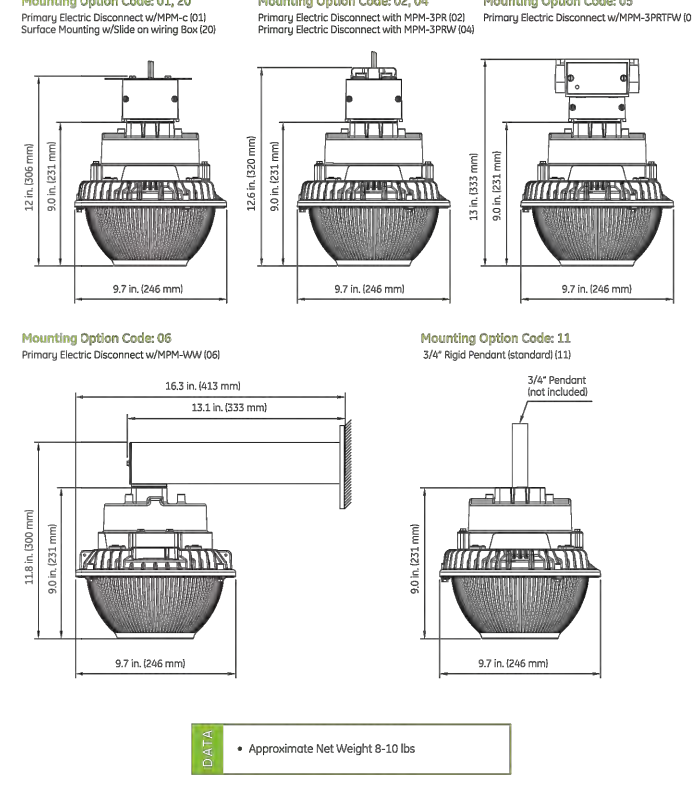
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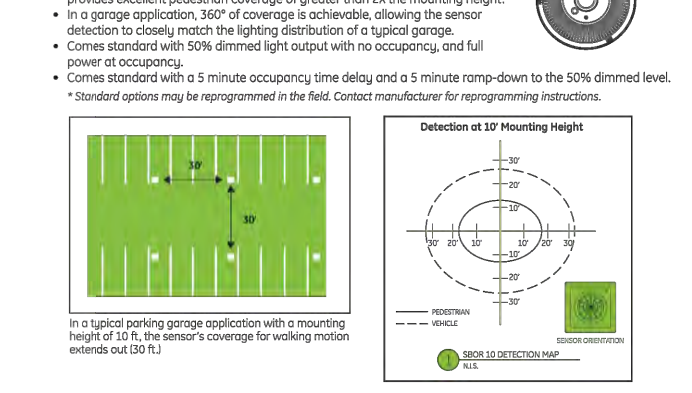
Photometrics



Product Dimensions



H-Motion Sensing Option:



ADDRESS  
268 AVE. MUÑOZ RIVERA  
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REVISIONS  
REV. DATE DESCRIPTION BY CHK'D

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SIGNATURE



FILE  
Dwg Name: MEL3.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP\_PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE  
PROPOSED LIGHTING-THIRD LEVEL

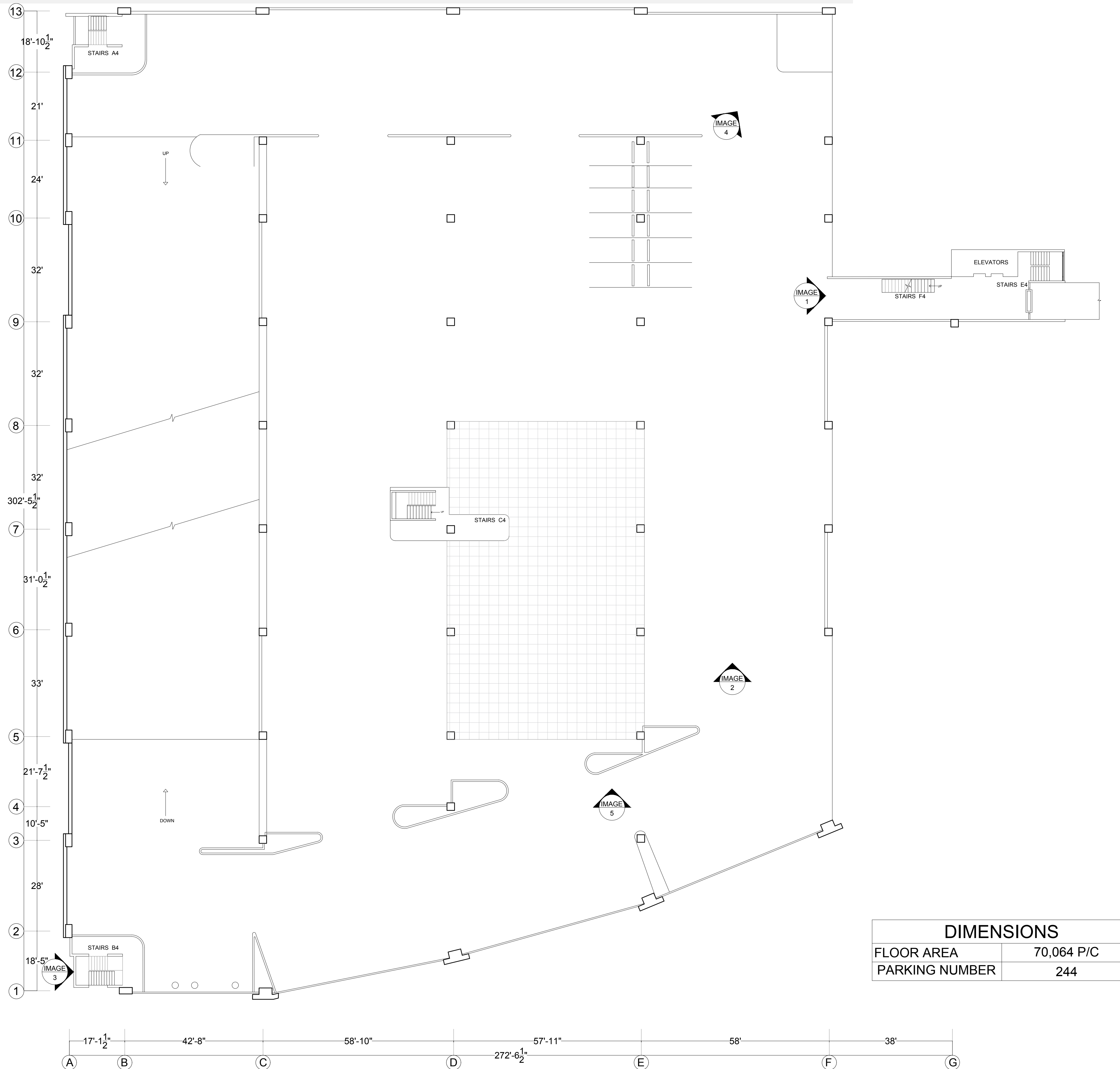
DRAWING NO.  
E-105

PAGE: 13/30

PROPOSED LIGHTING -THIRD LEVEL

SCALE NTS

FOURTH LEVEL PARKING AS- BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT



DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	244

PARKING AS-BUILT-FOURTH LEVEL

SCALE NTS

PHOTO DOCUMENTATION

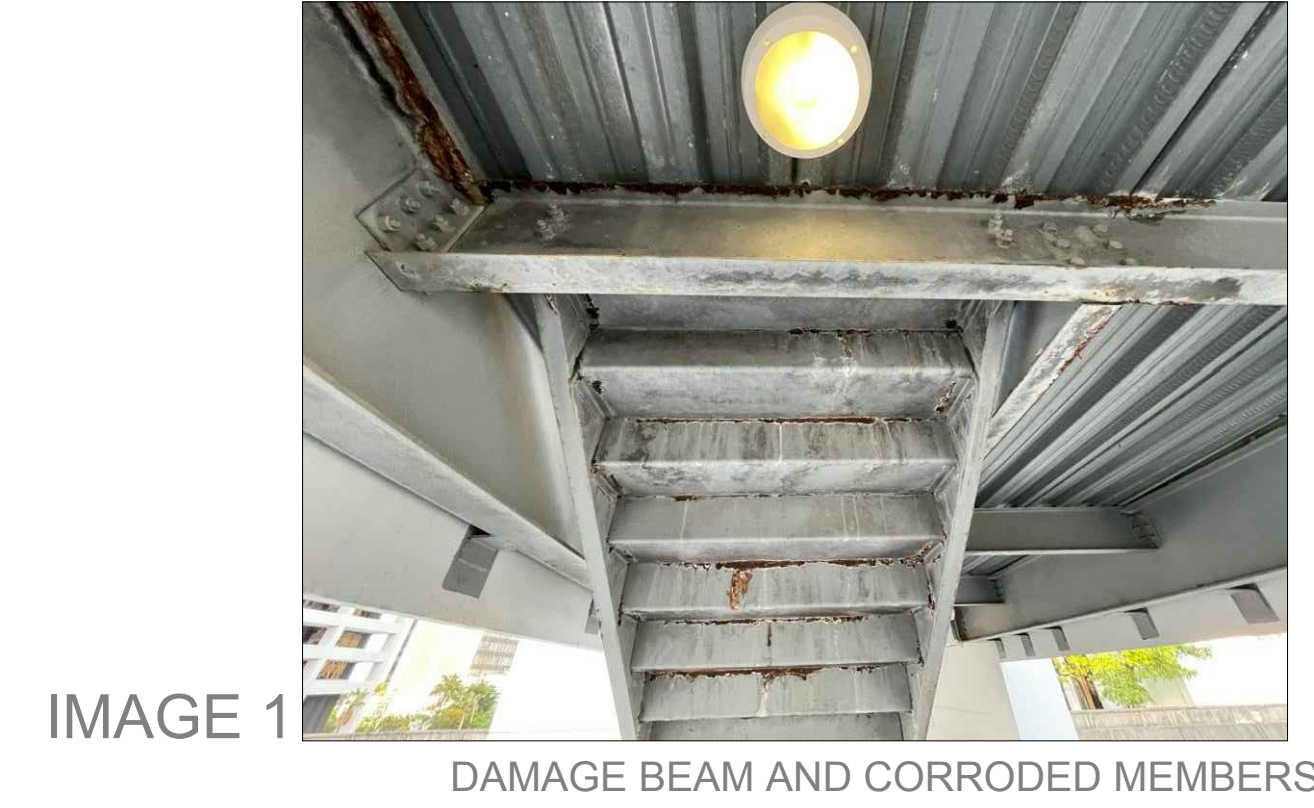


IMAGE 1 DAMAGE BEAM AND CORRODED MEMBERS

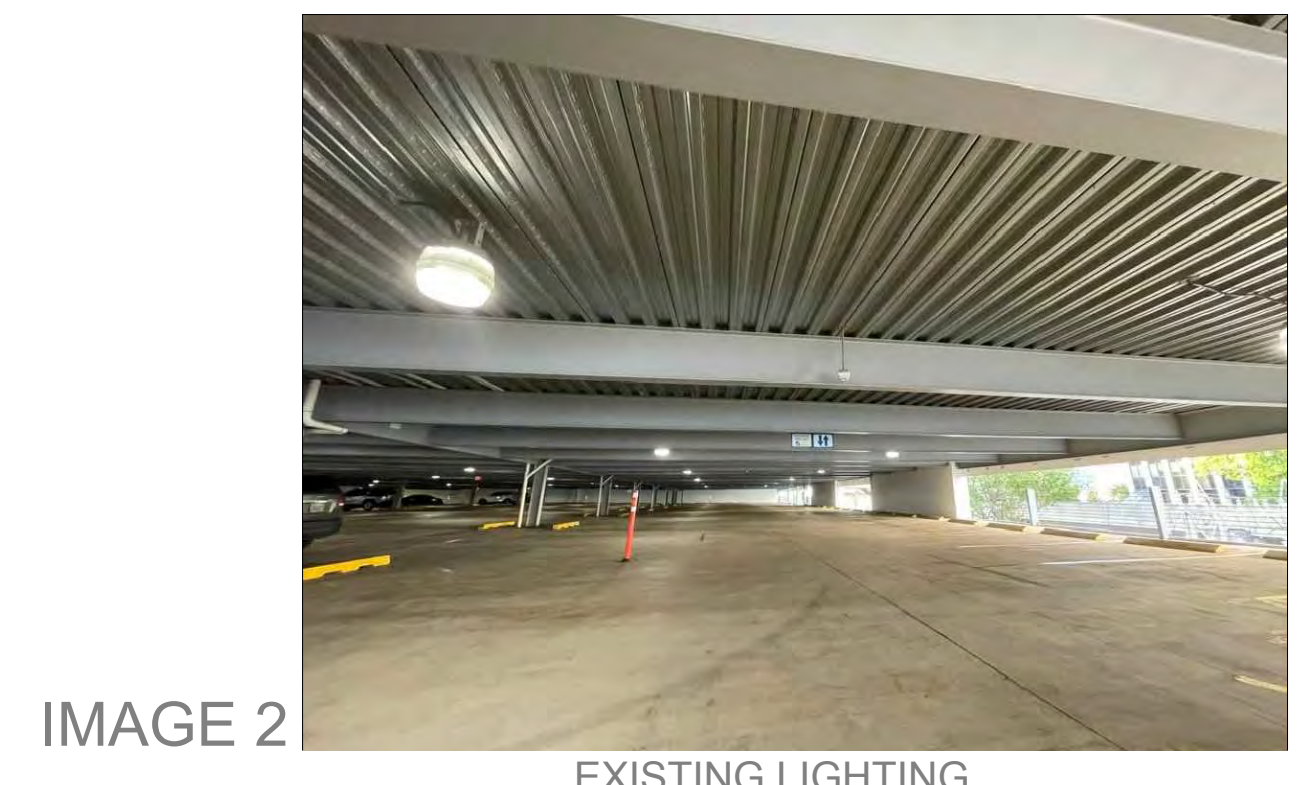


IMAGE 2 EXISTING LIGHTING



IMAGE 3 TYPICAL VIEW EXISTING STRUCTURAL CONDITIONS

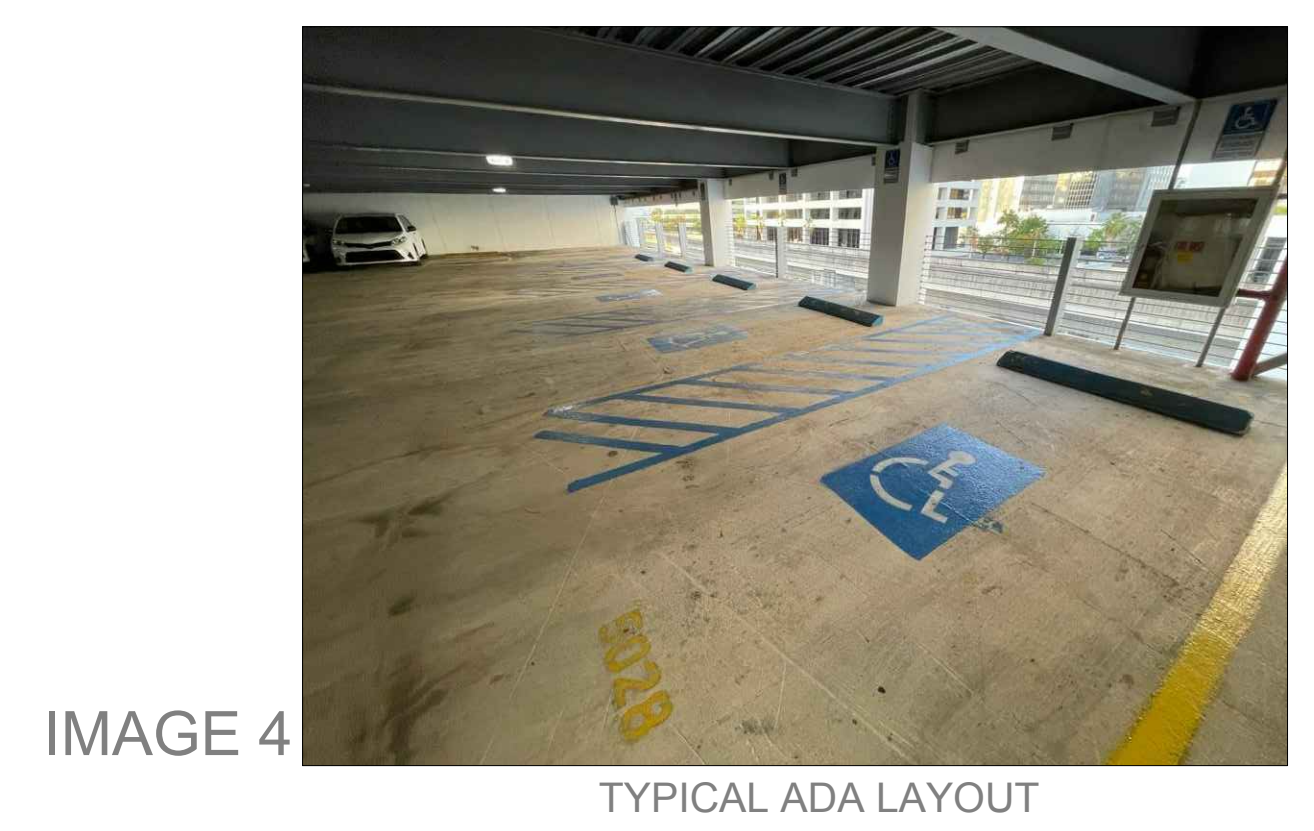


IMAGE 4 TYPICAL ADA LAYOUT

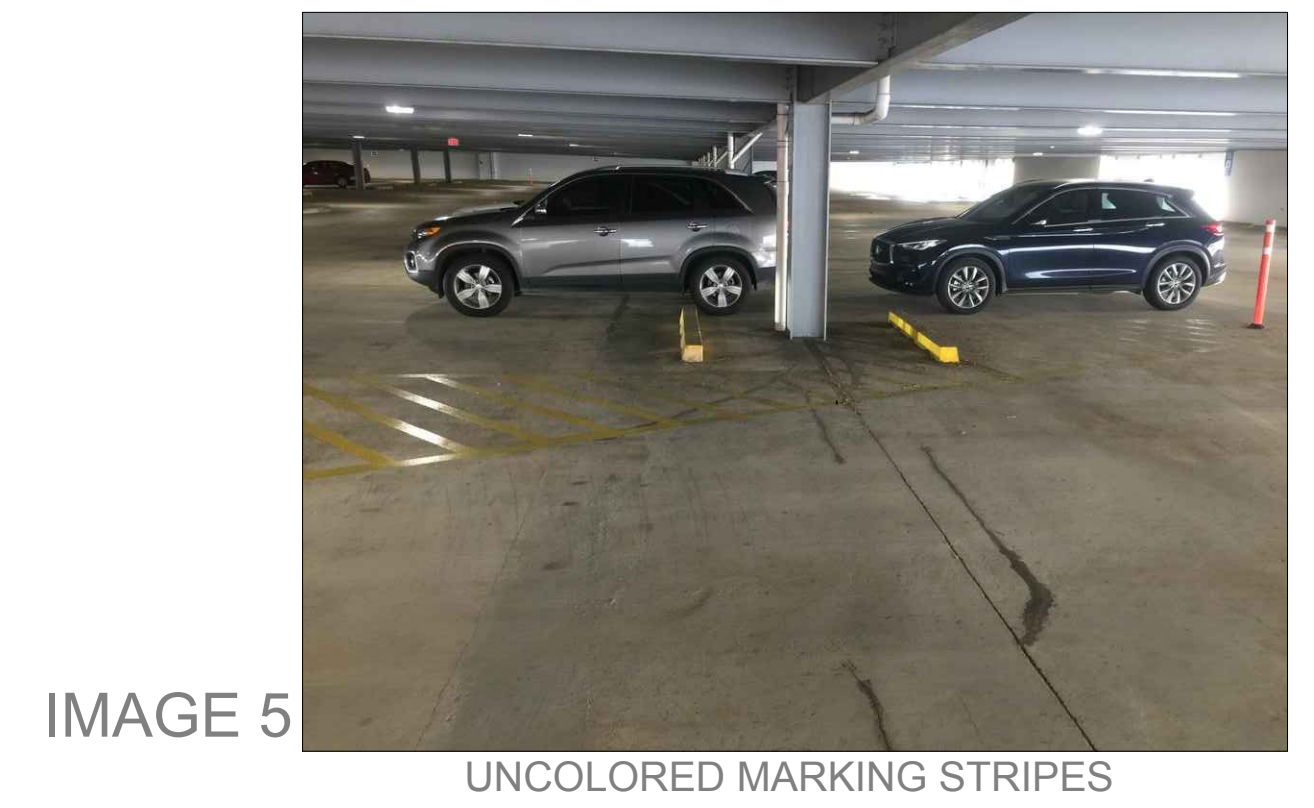


IMAGE 5 UNCOLORED MARKING STRIPES

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REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D
..	..	..	..	..

IMPORTANT NOTES TO THE CONTRACTOR:  
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CERTIFICATION  
I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE DOWRY REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY AND WITH THE LAWS NO. 315 OF MAY 15, 1988, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR INEPTITUDE OTHER THAN BY MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE C.S.P.E.

**IPG INGENIUM**  
PROFESSIONAL GROUP PSC  
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Plaza, San Juan, PR 00738  
Tel. (787) 918-5890 / 5891  
Email: info@ingenium.group

SIGNATURE

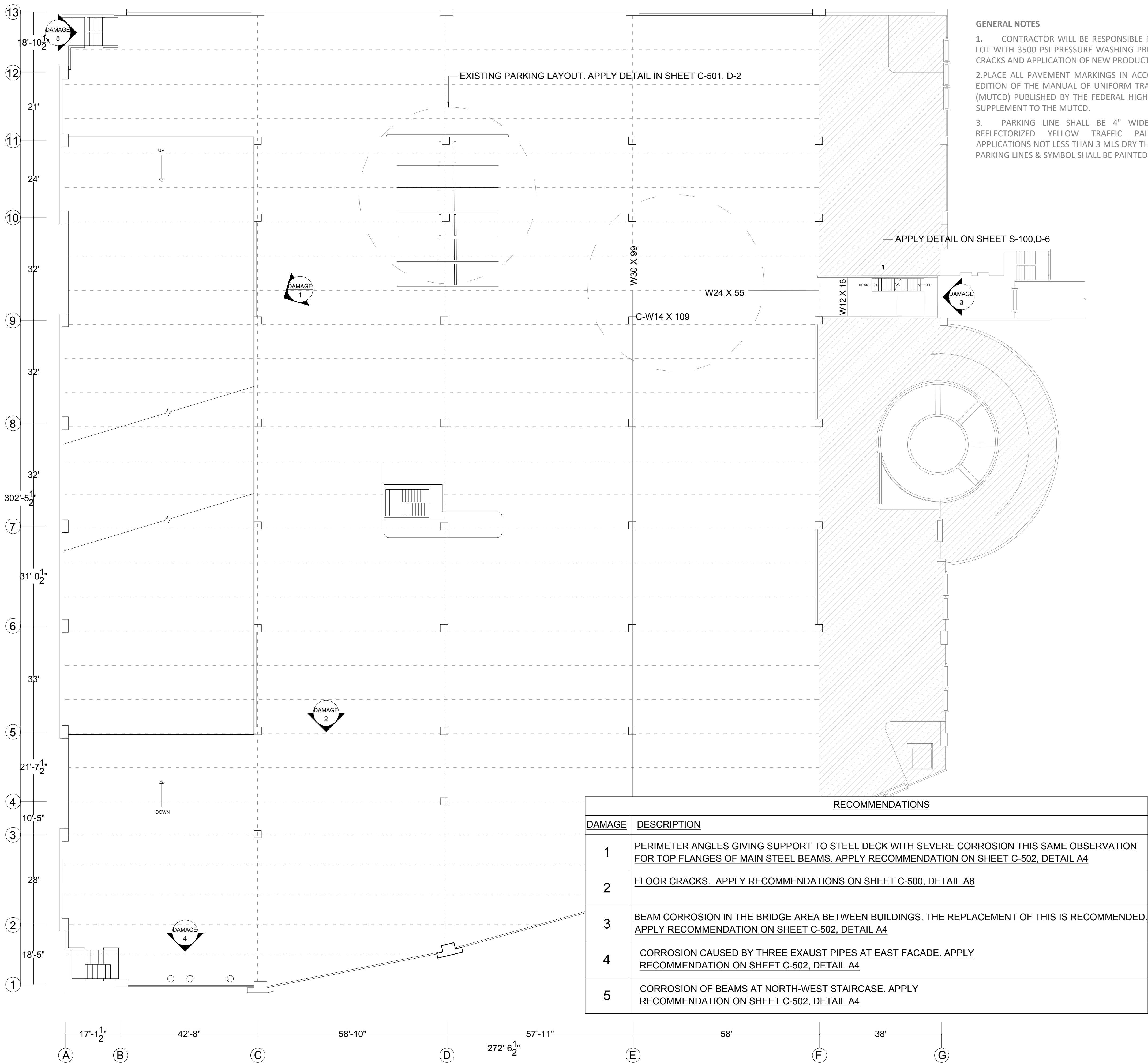
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Dwg Name: NIVEL 4.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE  
PARKING AS- BUILT-FOURTH LEVEL

DRAWING NO.  
C-103

PAGE: 14/30

FOURTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



GENERAL NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT
- PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.
- PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

PHOTO DOCUMENTATION



DAMAGE 1

PERIMETER ANGLES GIVING SUPPORT TO STEEL DECK WITH SEVERE CORROSION. THIS SAME OBSERVATION FOR TOP FLANGES OF MAIN STEEL BEAMS



DAMAGE 2

FLOOR CRACKS



DAMAGE 3

BEAM CORROSION, IN THE BRIDGE AREA BETWEEN BUILDINGS. THE REPLACEMENT OF THESE IS RECOMMENDED.



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

CORROSION OF BEAMS OF STAIR AT SOUTH-WEST STAIR

ADDRESS

268 AVE. MUÑOZ RIVERA  
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REGISTER NO.

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REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D
..	..	..	..	..

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Plaza, San Juan, PR 00738  
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SIGNATURE



FILE

Dwg Name: IWL40g  
Drawn by: INGENIUM PROFESSIONAL GROUP/PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

STRUCTURAL RECOMMENDATIONS-FOURTH LEVEL

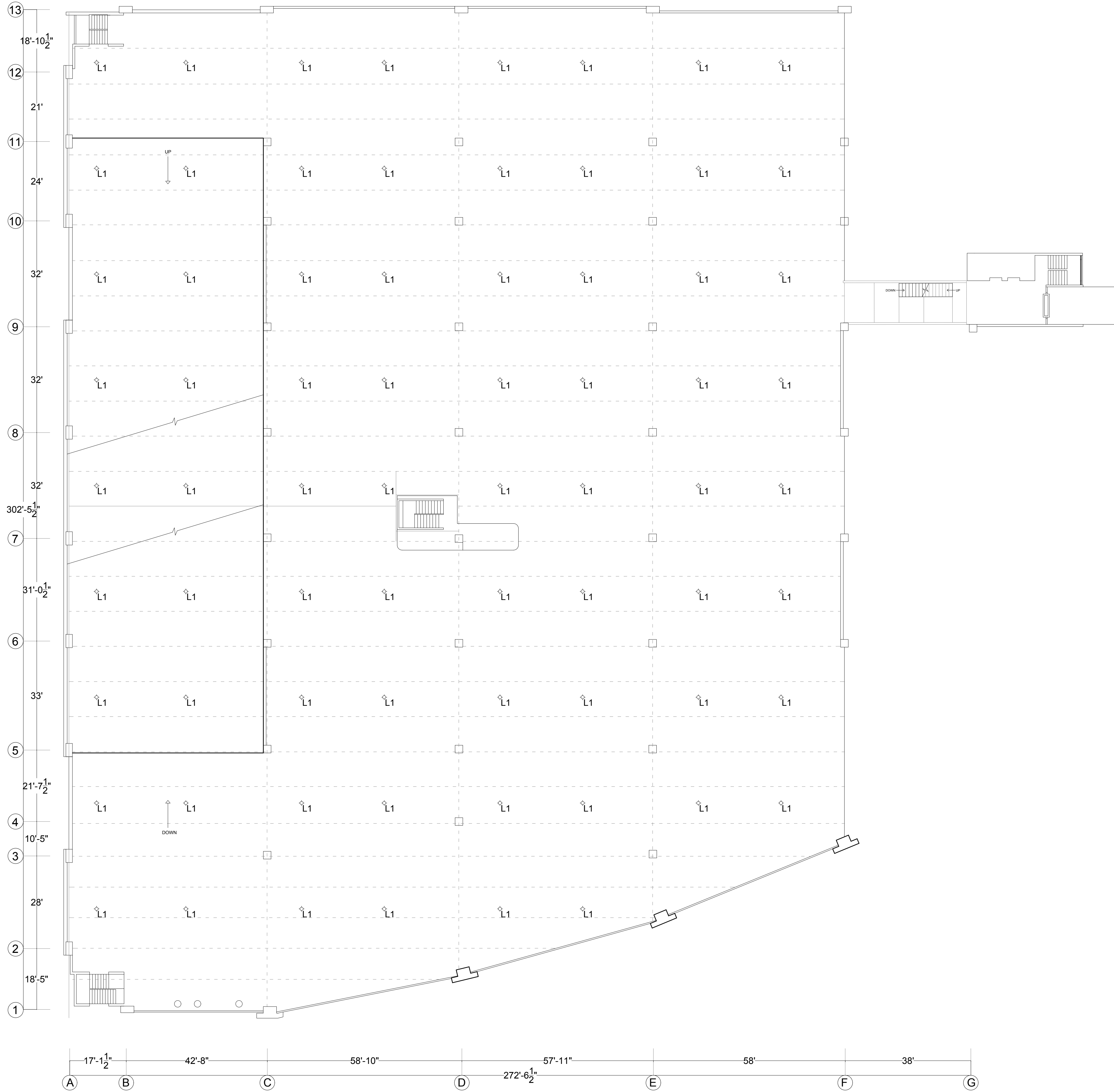
DRAWING NO.

A-103

STRUCTURAL REPAIRS (RECOMMENDATIONS)-FOURTH LEVEL

SCALE NTS

FOURTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	70	EXISTING LIGHTING

GENERAL NOTES

1. LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
2. THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
3. IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
4. OUTDOOR SPOTLIGHT IP-66.
5. THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

063-031-639-02

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 38383, CERTIFY THAT I AM THE PROFESSIONAL WHO MADE, DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS, OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE "LAW NO. 39 OF MAY 15, 1938, AS AMENDED; ACT NO. 36 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE DOPE.



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SIGNATURE



FILE

Dwg Name: IME1.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Meléndez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

EXISTING LIGHTING-FOURTH LEVEL

DRAWING NO.

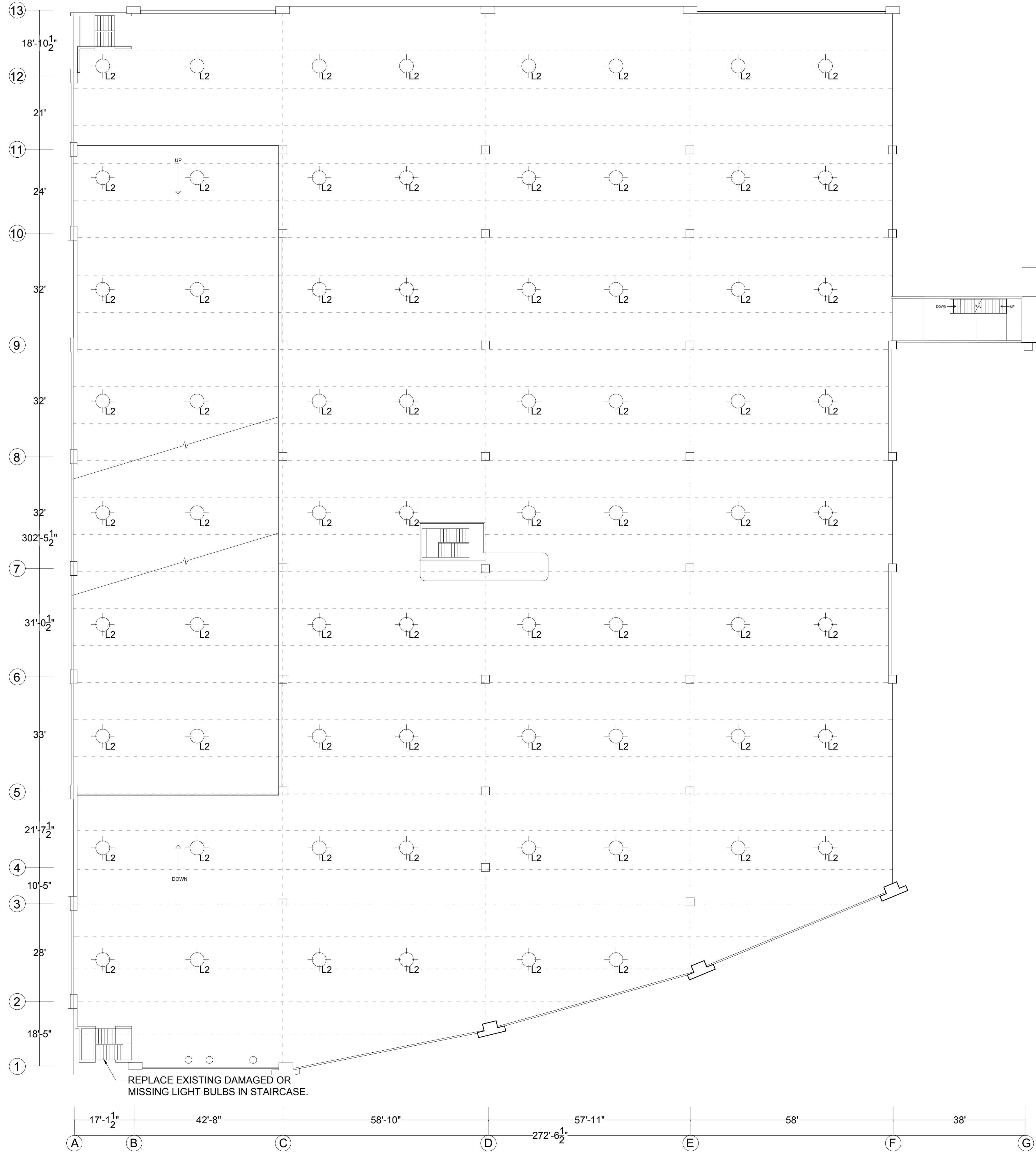
E-106

EXISTING LIGHTING-FOURTH LEVEL

SCALE NTS



FOURTH LEVEL PROPOSED LIGHTING AND RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
	PROPOSED LIGHTING	70	EVOLVE LED GARAGE LIGHT

ADDRESS  
268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER  
PODER JUDICIAL

REGISTER NO.  
0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS	REV.	DATE	DESCRIPTION	BY	CHK'D
	--	--	--	--	--

REPLACE EXISTING DAMAGED OR MISSING LIGHT BULBS IN STAIRCASE.

GE Lighting

### Evolve™ LED Garage Light (EG2R)

**Product Features**  
High quality lighting meeting the end user's needs with the Evolve™ LED Garage Light, EG2R. The fixture features an advanced LED light specifically designed for applications such as parking lots with low mounting height to provide high uniformity and excellent vertical light distribution with reduced glare. Illuminating your parking area with effective lighting. Features include programmable motion sensing, step dimming and daylight harvesting with optional approach with reflective glass lens. Available in a variety of mounting options for maximizing light output and performance. Additionally, our lighting is a proven performer. With a 5-year warranty, providing a true "buy once" experience and eliminating the "buy effort" that often occurs with other lighting solutions.

**Applications**  
• Garage, warehouse, roadway and driveway lighting.  
• Available with a variety of mounting options providing a complete solution to meet almost any field environment.  
• Mounting options with wet location rating (UL, DL, DLX, DLZ, DLV).  
• Mounting options with damp location rating (UL, DL, DLX).

**LED & Optical Assembly**  
• Evolve™ LED engine consisting of reflective, aluminum substrate LED chips and a clear lens. • 5000K high brightness LED, 70-100 lumens per watt and 4000K and 5000K.

**Lumen Maintenance**  
• Projected L70 (L80) > 100,000 hrs @ 25°C per IES TM-21.

**Mounting**  
• Cast aluminum head with a maximum fastener hole diameter of 1/2" (12.7mm) and provides long LED life.

**LED & Optical Assembly**  
• Customized reflector and optical powder coated, maximum 2.0 mcd beam spread.  
• Standard color temp 5000K.  
• The LED color is color stable.

**Electrical**  
• 100-277V ac.  
• Operates from 0 to 100% and 100% THD LED.  
• Class 2 of fault current.  
• 2000 lumen per watt.  
• Integral surge protection exceeds ANSI C136.2-015.  
• 100% LED color stability.

**Dimming**  
• 0-10V dimming.  
• 0-10V dimming with 0-10V dimmer.  
• 0-10V dimming with 0-10V dimmer.  
• 0-10V dimming with 0-10V dimmer.

Ordering Number Logic

Evolve™ LED Garage Light (EG2R)

EG 2 R 0 AS P S

EG: Evolve™ LED Garage Light (EG2R)  
2: 2000 lumens  
R: 5000K  
0: 0-10V dimming  
AS: 100-277V ac  
P: 100-277V ac  
S: 100-277V ac

Photometrics

Evolve™ LED Garage Light (EG2R)

EG2R Type V - Symmetric (UL)  
2000 lumens, 5000K, 0-10V, 100-277V ac

Product Dimensions

Evolve™ LED Garage Light (EG2R)

Mounting Option Code 01, 02, 03  
Primary fixture (discontinued) with 100-277V ac  
Surge Mounting (UL) with 100-277V ac

Mounting Option Code 04, 05  
Primary fixture (discontinued) with 100-277V ac  
Primary fixture (discontinued) with 100-277V ac

Mounting Option Code 06  
Primary fixture (discontinued) with 100-277V ac

Mounting Option Code 11  
1/4" High (discontinued) with 100-277V ac

H-Motion Sensing Option

Evolve™ LED Garage Light (EG2R)

• Recommended for lower mounting heights between 8.25 ft. to 8.50 ft.  
• Provides excellent detection coverage of greater than 20 ft. from mounting height.  
• In a garage environment, 100% of coverage is achieved, allowing the sensor to clearly reach the lighting distribution of a typical garage. UL  
• Sensor range is 100-200 ft. for the sensor.  
• Sensor range is 100-200 ft. for the sensor.  
• Sensor range is 100-200 ft. for the sensor.  
• Sensor range is 100-200 ft. for the sensor.

Product Dimensions

Garage with Motion Sensor

No clear dimension difference between 5000K with motion sensor and without.

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IPG INGENIUM PROFESSIONAL GROUP PSC

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Tel: (787) 918-5890 / 5891  
Email: info@ingenium.group

SIGNATURE

William Meléndez Rivera  
Ingeniero Electrónico  
Lic. 10383 P.E.  
Puerto Rico

FILE  
Dwg Name: WEL-4.rvt  
Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print  
Sep 16, 2024

TITLE

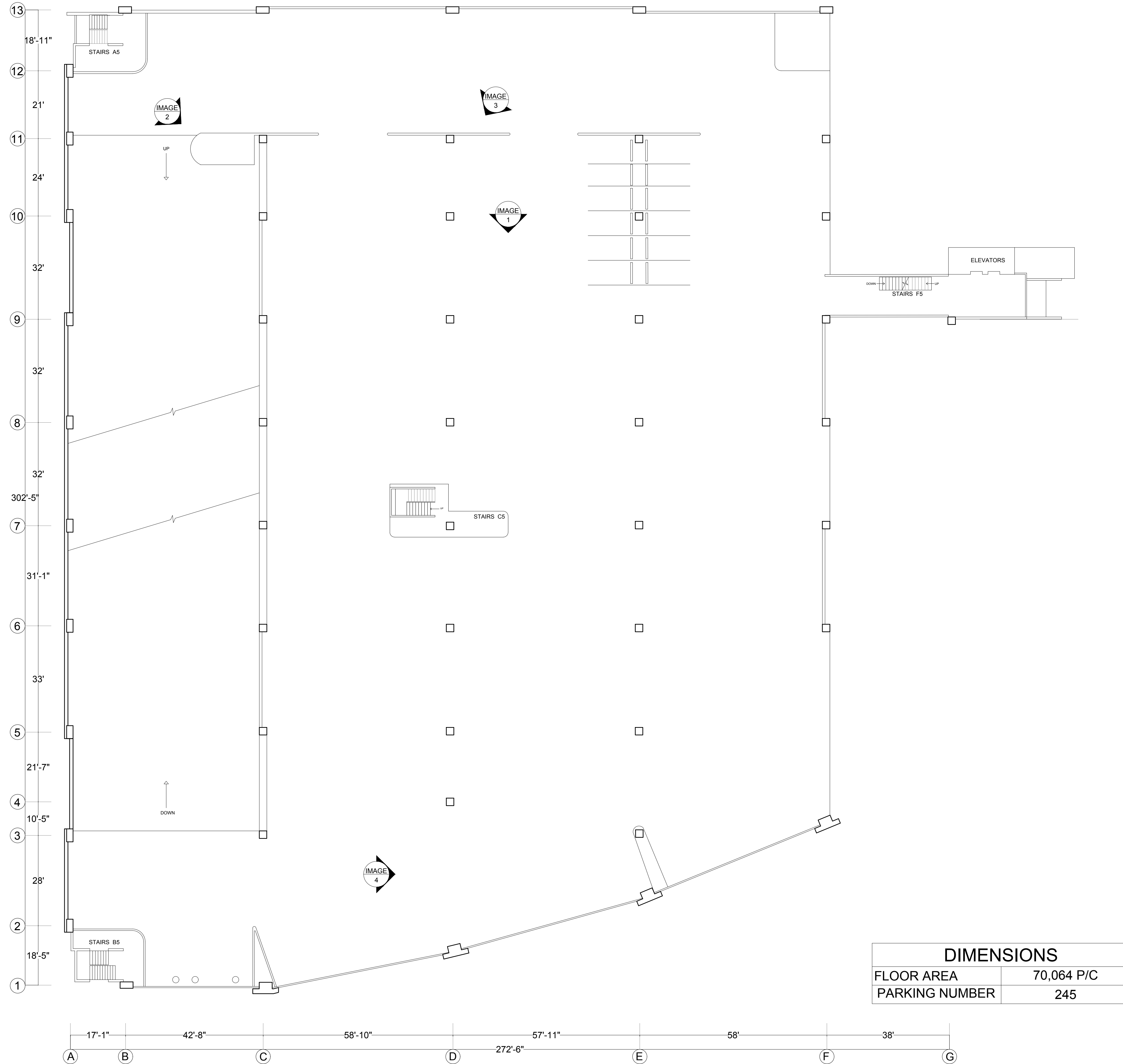
PROPOSED LIGHTING - FOURTH LEVEL

DRAWING NO.  
E-107

PAGE: 17/30

PROPOSED LIGHTING - FOURTH LEVEL

SCALE NTS



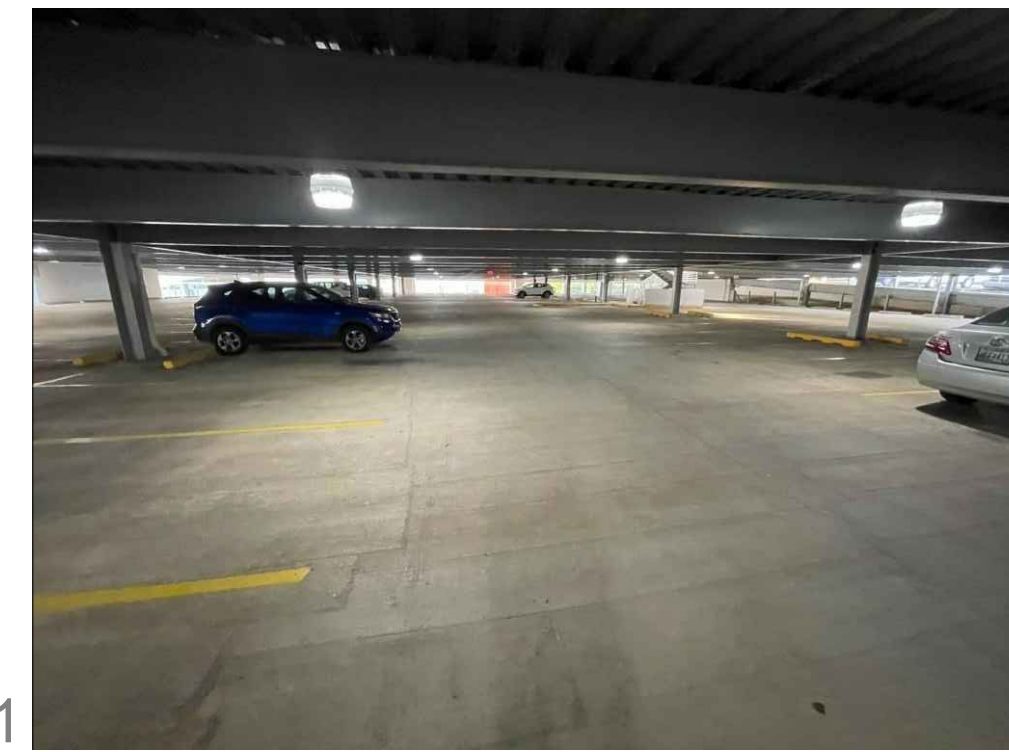
DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	245

PARKING AS- BUILT-FIFTH LEVEL

SCALE NTS

PHOTO DOCUMENTATION

IMAGE 1



EXISTING LIGHTING CONDITION

IMAGE 2



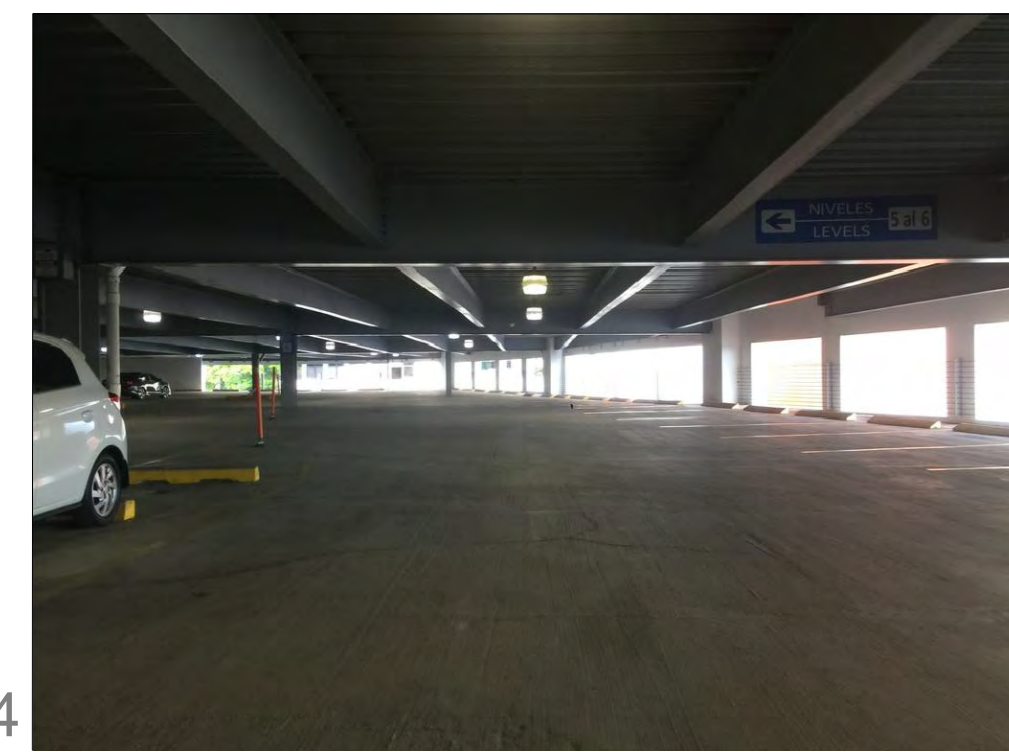
METAL POST AND CABLE BARRIER

IMAGE 3



TYPICAL VIEW EXISTING STRUCTURAL CONDITIONS

IMAGE 4



TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

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REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D

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SIGNATURE



FILE

Dwg Name: WEL504g  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Meléndez Rivera, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

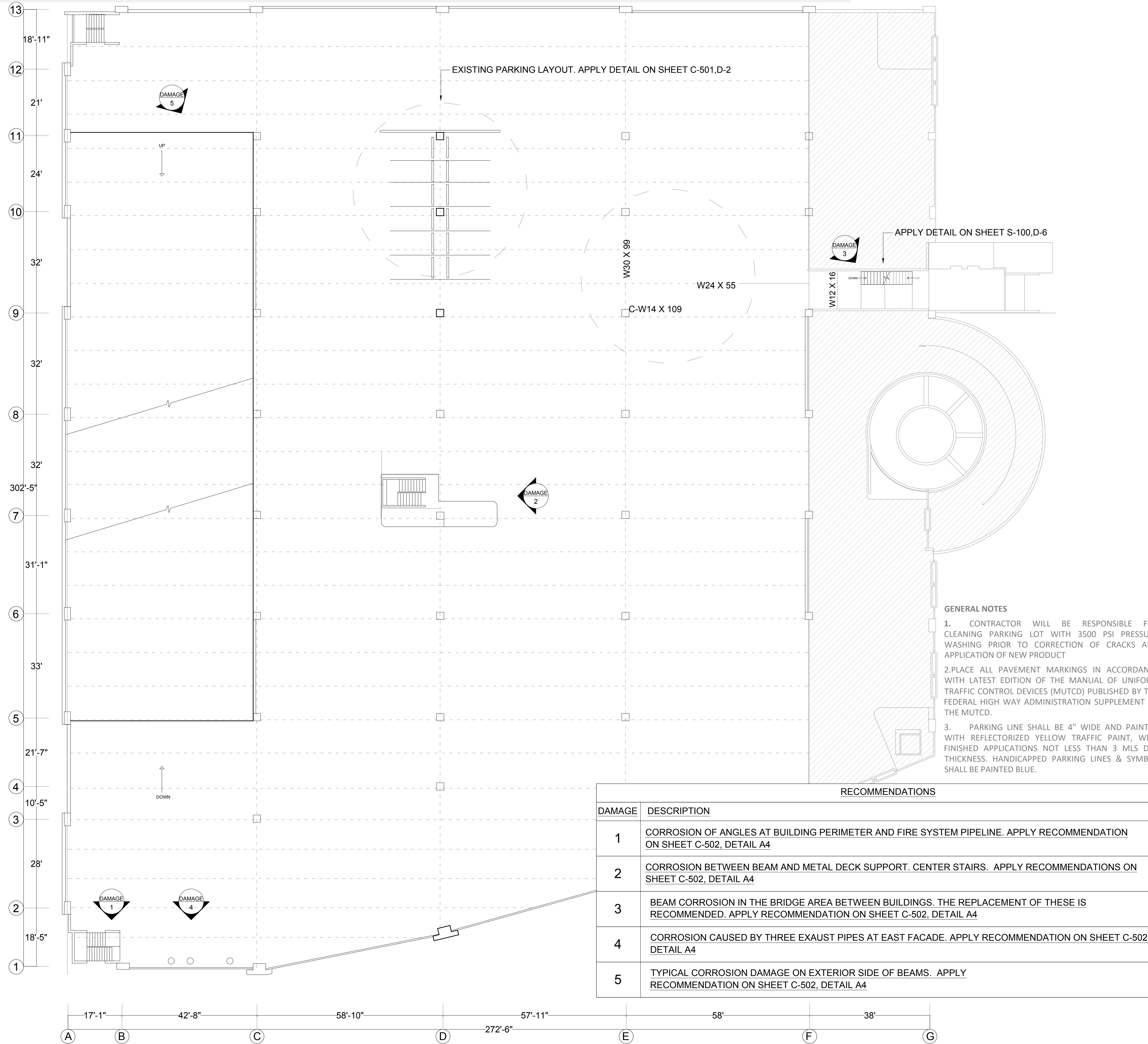
TITLE

PARKING AS-BUILT-FIFTH LEVEL

DRAWING NO.

C-104

FIFTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



STRUCTURAL REPAIRS (RECOMMENDATIONS)-FIFTH LEVEL

SCALE NTS

PHOTO DOCUMENTATION



DAMAGE 1

CORROSION OF ANGLES AT BUILDING PERIMETER AND FIRE SYSTEM PIPE LINE.



DAMAGE 2

CORROSION BETWEEN BEAM AND METAL DECK SUPPORT. CENTER STAIR



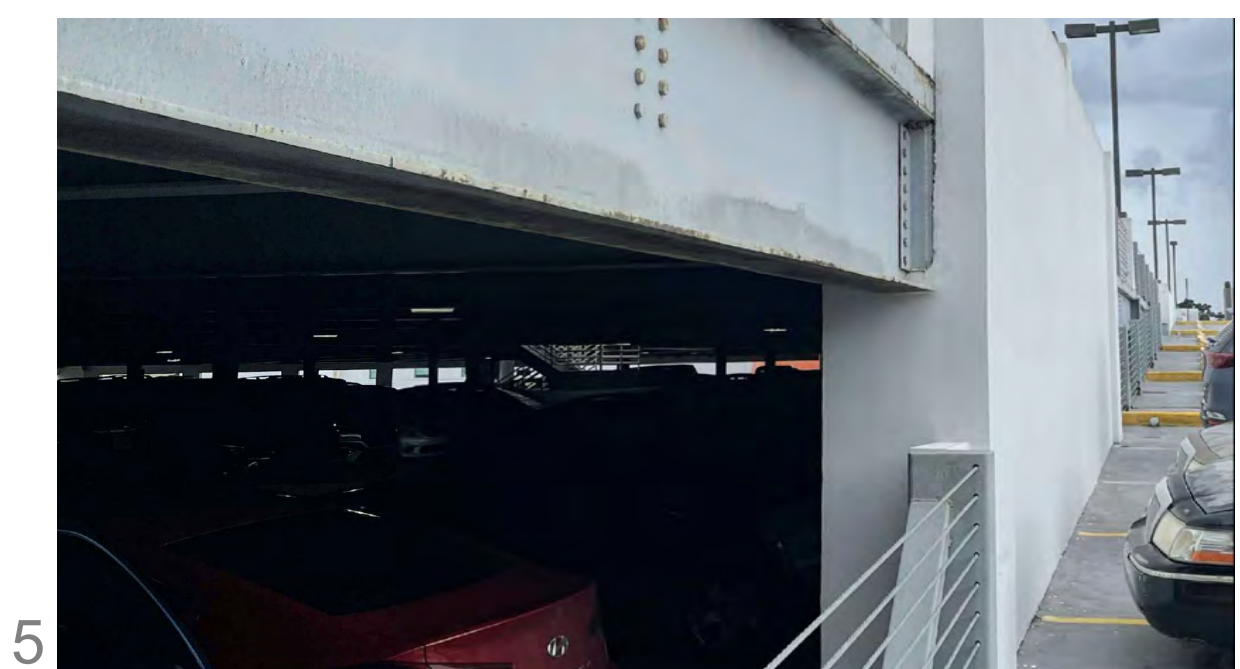
DAMAGE 3

BEAM CORROSION, IN THE BRIDGE AREA BETWEEN BUILDINGS, THE REPLACEMENT OF THESE IS RECOMMENDED.



DAMAGE 4

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

TYPICAL CORROSION DAMAGE ON EXTERIOR SIDE OF BEAMS.

ADDRESS

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REVISIONS

REV. DATE DESCRIPTION BY CHK'D

.. .. .. .. ..

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SIGNATURE



FILE

Dwg Name: WEL51ng  
Drawn by: INGENIUM PROFESSIONAL GROUP,PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

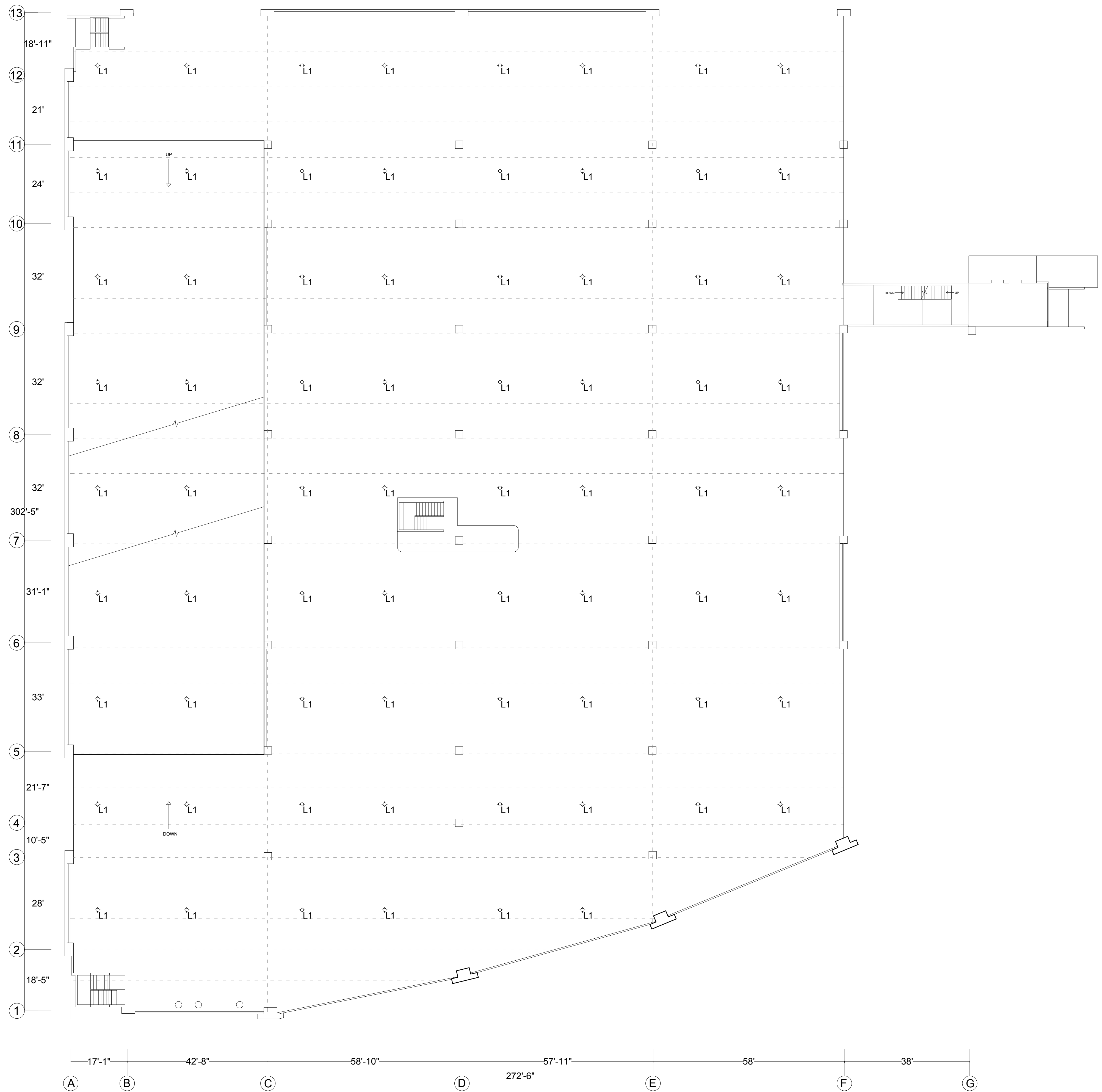
TITLE

STRUCTURAL RECOMMENDATIONS-FIFTH LEVEL

DRAWING NO.

A-104

FIFTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



LEGEND			
TYPE	CONDITION	QTY	DESCRIPTION
L1	EXISTING LIGHTING	70	EXISTING LIGHTING

GENERAL NOTES

- LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.
- THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.
- IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.
- OUTDOOR SPOTLIGHT IP-66.
- THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

.. .. .. .. ..

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SIGNATURE



FILE

Dwg Name: IMEL5.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

EXISTING LIGHTING-FIFTH LEVEL

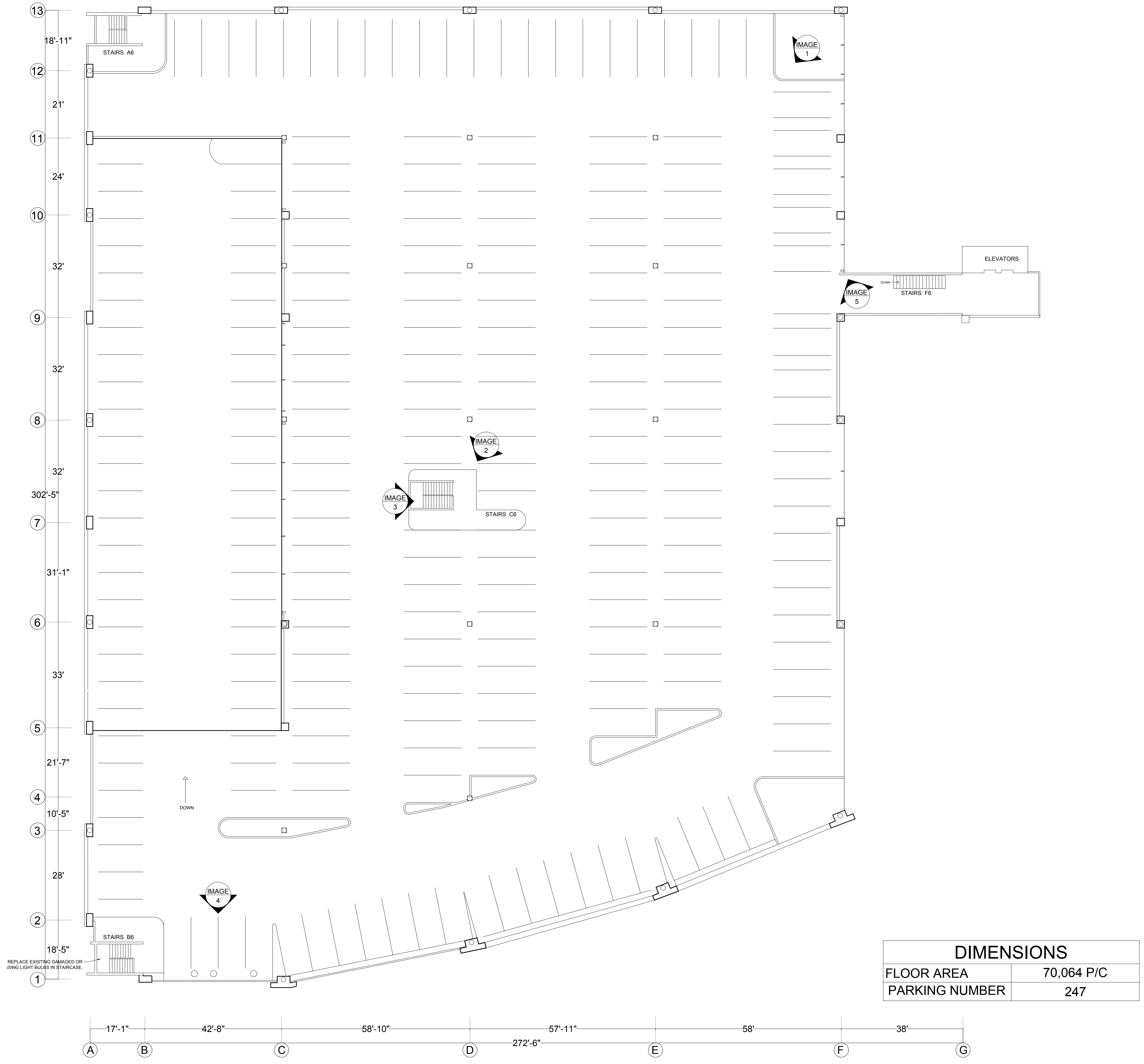
DRAWING NO.

E-108

EXISTING LIGHTING-FIFTH LEVEL

SCALE NTS





**PARKING AS-BUILT-SIXTH LEVEL**

SCALE NTS

PHOTO DOCUMENTATION

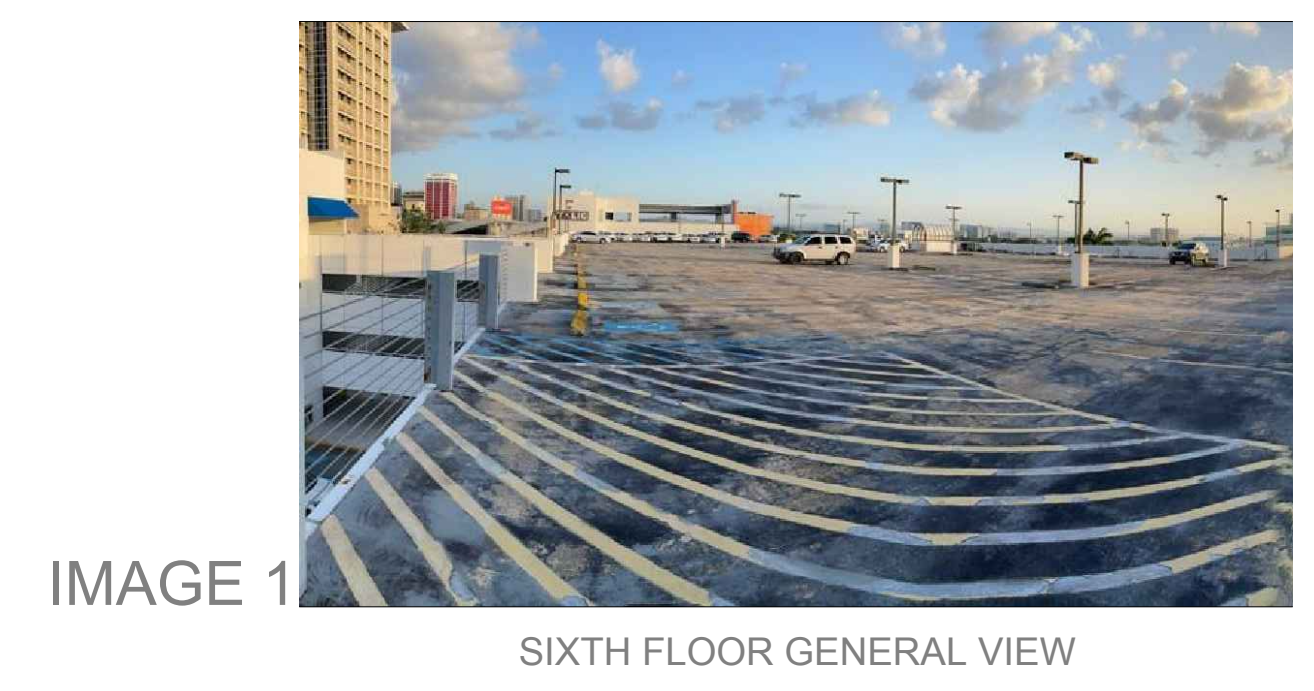


IMAGE 1  
SIXTH FLOOR GENERAL VIEW



IMAGE 2  
CENTRAL ACCESS STAIRS LEVEL 6 PROPOSED EXTENSION OF UPPER ROOF



IMAGE 3  
CORRODED STEEL ELEMENT

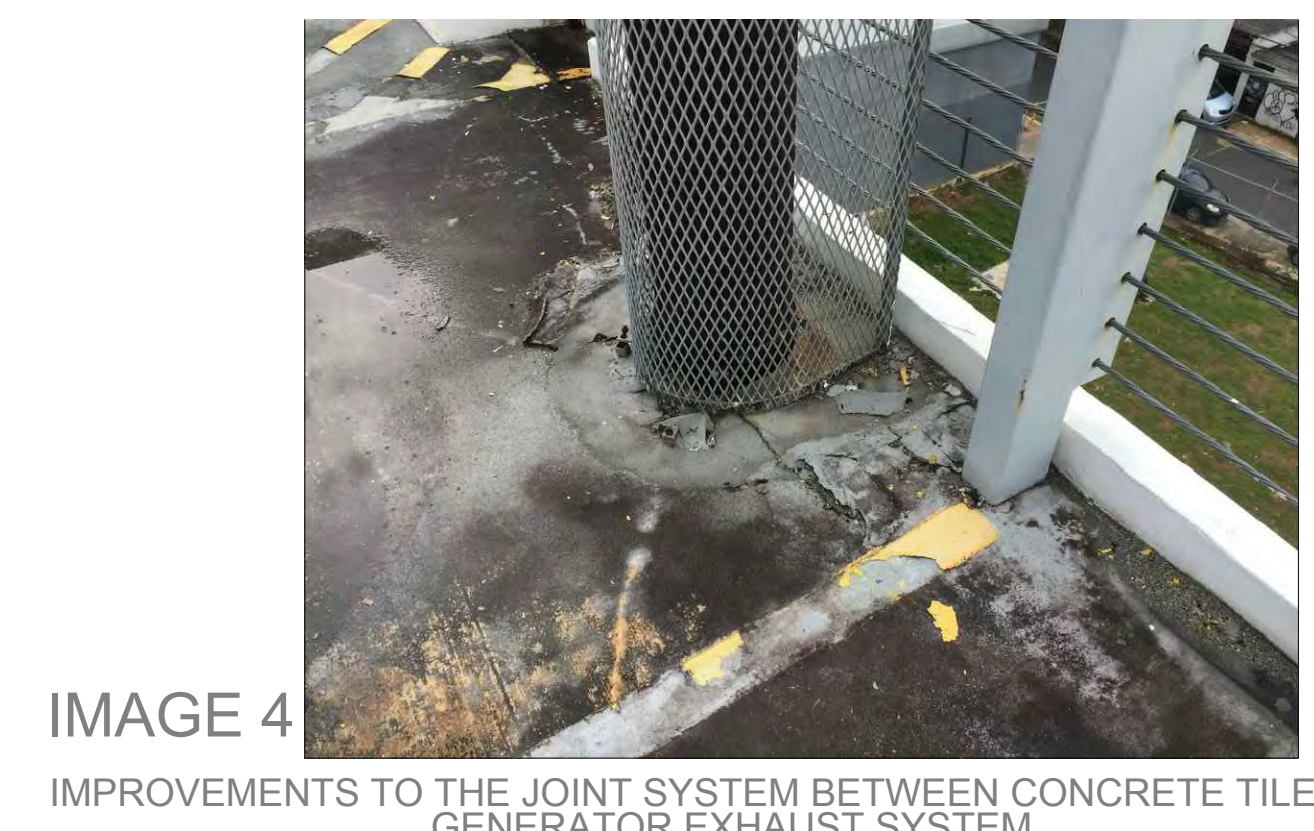


IMAGE 4  
IMPROVEMENTS TO THE JOINT SYSTEM BETWEEN CONCRETE TILE AND THE GENERATOR EXHAUST SYSTEM

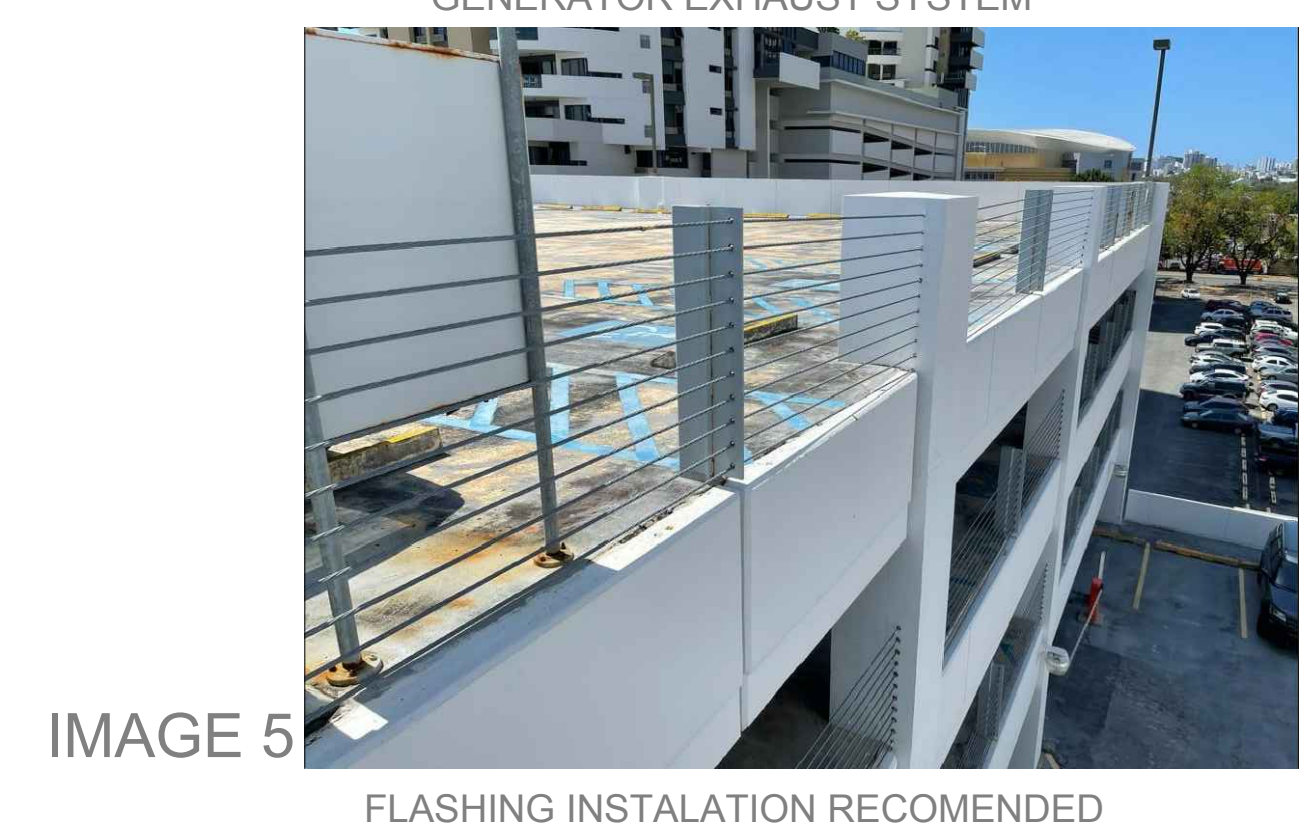


IMAGE 5  
FLASHING INSTALATION RECOMENDED

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

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REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

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CERTIFICATION

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Plaza, San Juan, PR 00738  
Tel. (787) 918-5890 / 5891  
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SIGNATURE



FILE

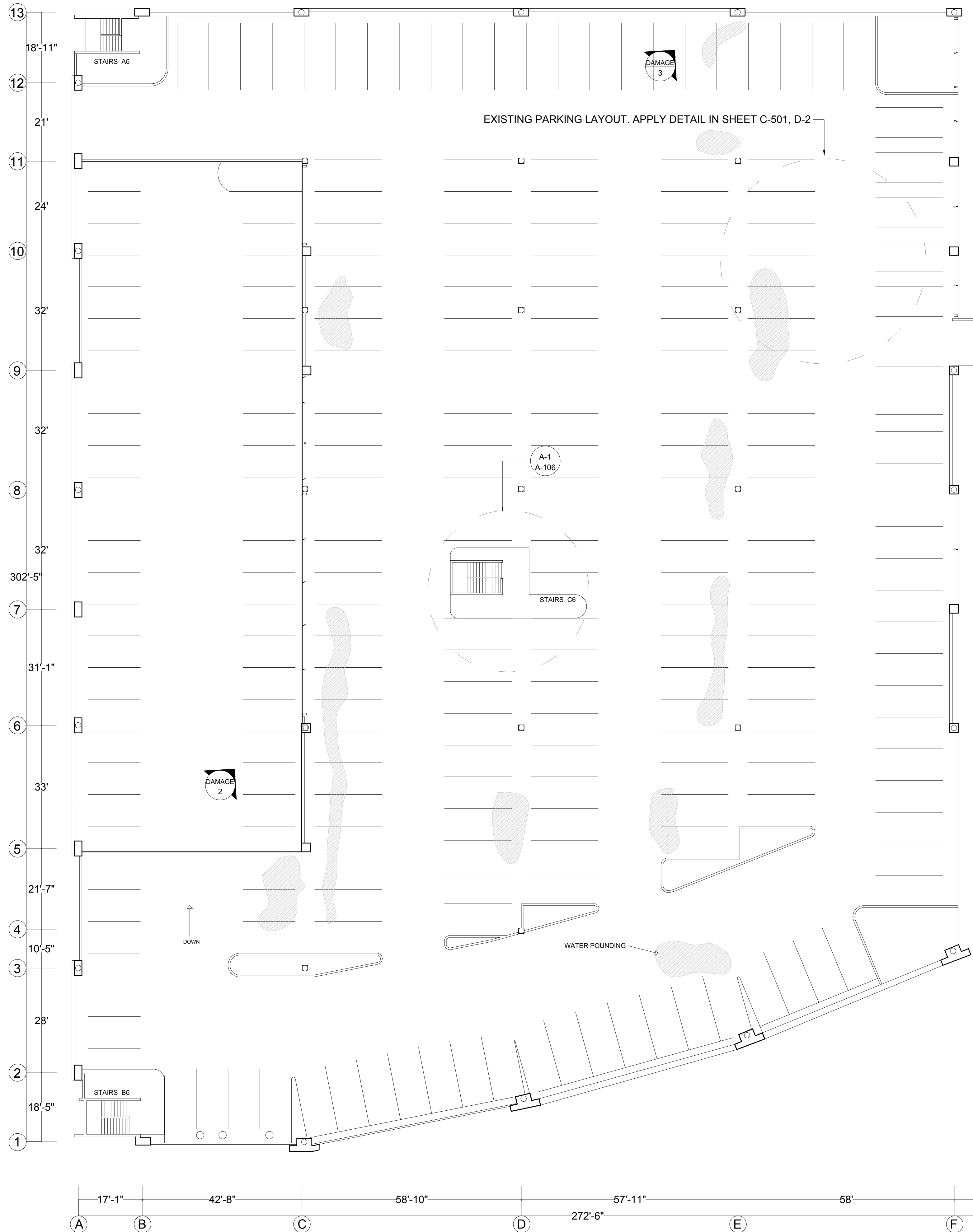
Dwg Name: NIEL.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

PARKING AS-BUILT-SIXTH LEVEL

DRAWING NO.

C-105



GENERAL NOTES

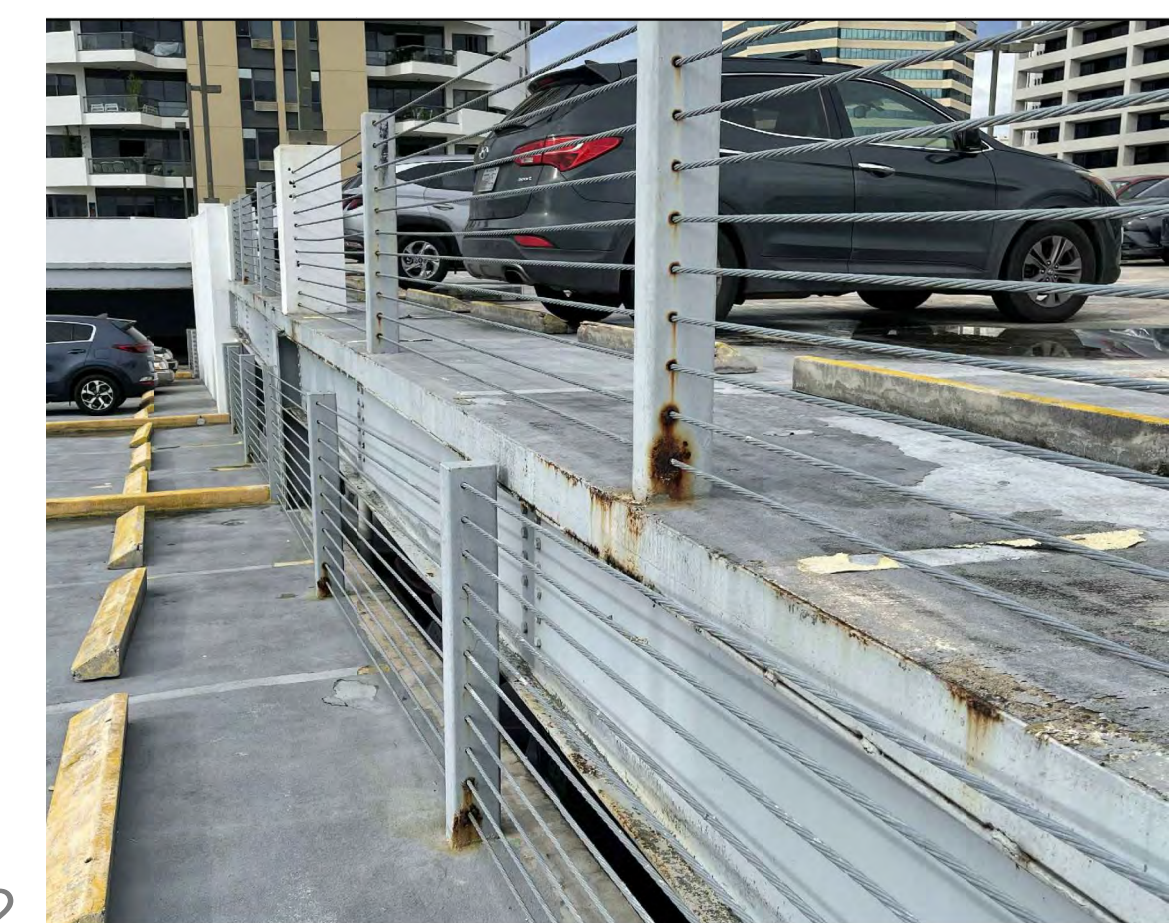
- CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT
- PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.
- PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MILS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

PHOTO DOCUMENTATION



DAMAGE 1

SIXTH FLOOR GENERAL VIEW



DAMAGE 2

FLOOR CRACKS



DAMAGE 3

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

.. .. .. .. ..

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FILE

Dwg Name: INTL6.rvt  
Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
Revised by: Eng. W. Meléndez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

STRUCTURAL  
RECOMMENDATION-SIXTH  
LEVEL

DRAWING NO.

A-105

STRUCTURAL REPAIRS (RECOMMENDATIONS)-SIXTH LEVEL

SCALE NTS

DIMENSIONS	
FLOOR AREA	70,064 P/C
PARKING NUMBER	247

RECOMMENDATIONS	
DAMAGE	DESCRIPTION
1	WHEN OCCURES, APPLY RECOMMENDATION ON SHEET C-502, DETAIL A-1
2	WHEN OCCURES, APPLY RECOMMENDATION ON SHEET C-502, DETAIL A-4
3	WHEN OCCURES, APPLY RECOMMENDATION ON SHEET C-502, DETAIL A-5

SIXTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT

ADDRESS

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REV. DATE DESCRIPTION BY CHK'D

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FILE

Dwg Name: INTL 6.nwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

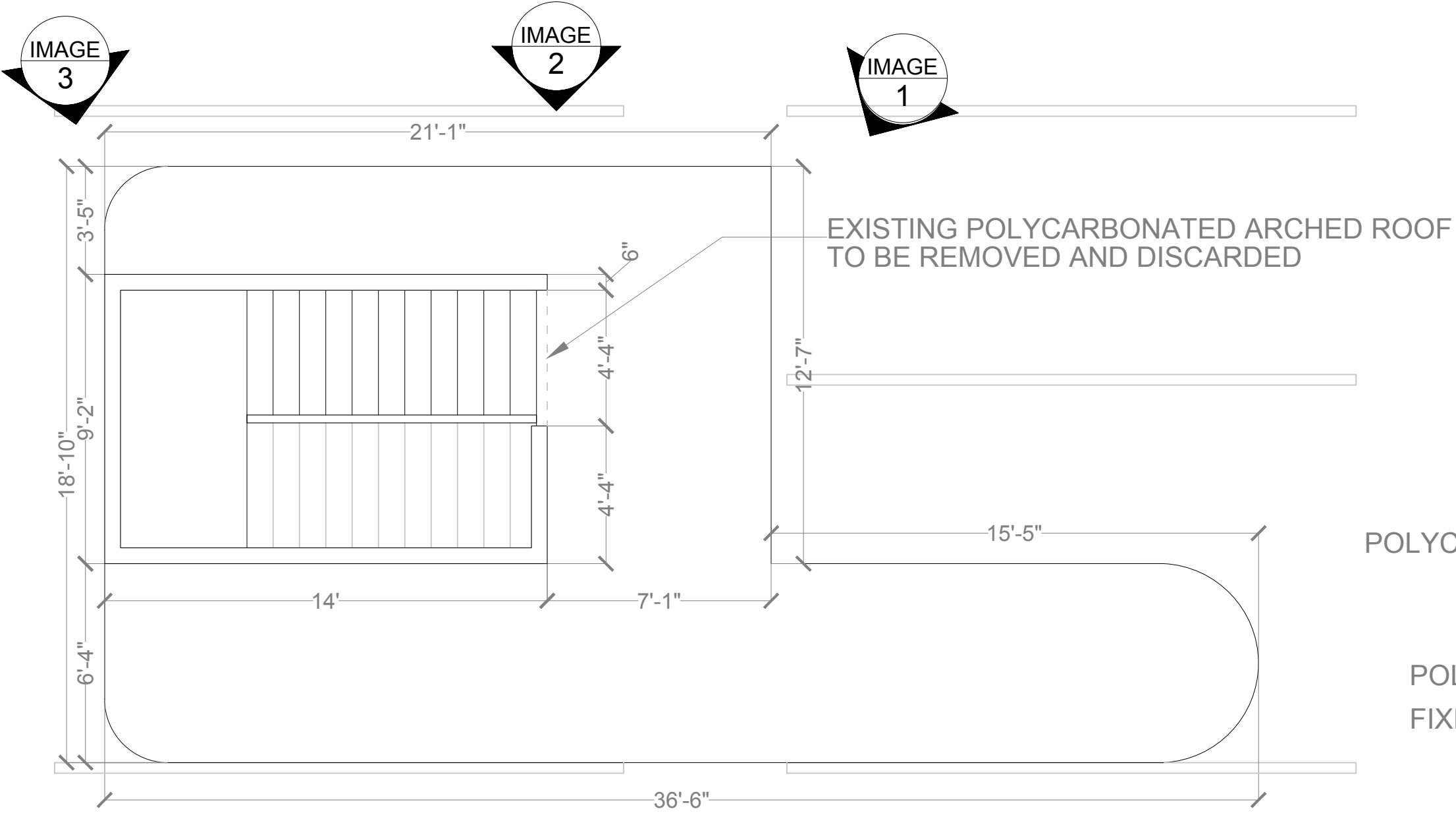
C6 EXTERIOR STAIR  
PROPOSAL-SIXTH LEVEL

DRAWING NO.

A-106

PAGE: 24/30

PLAN VIEW



EXISTING EXTERIOR STAIRS

SCALE 1/4"=1'-0"

1  
A-106



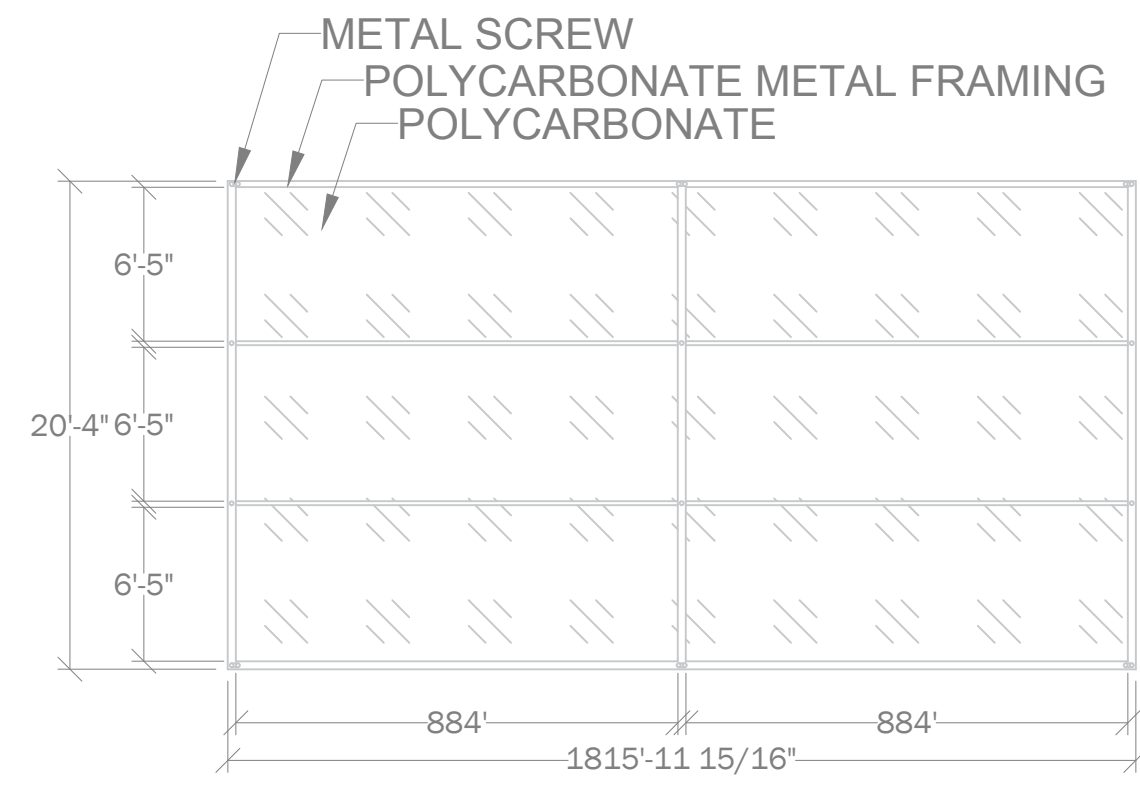
IMAGE 1



IMAGE 2

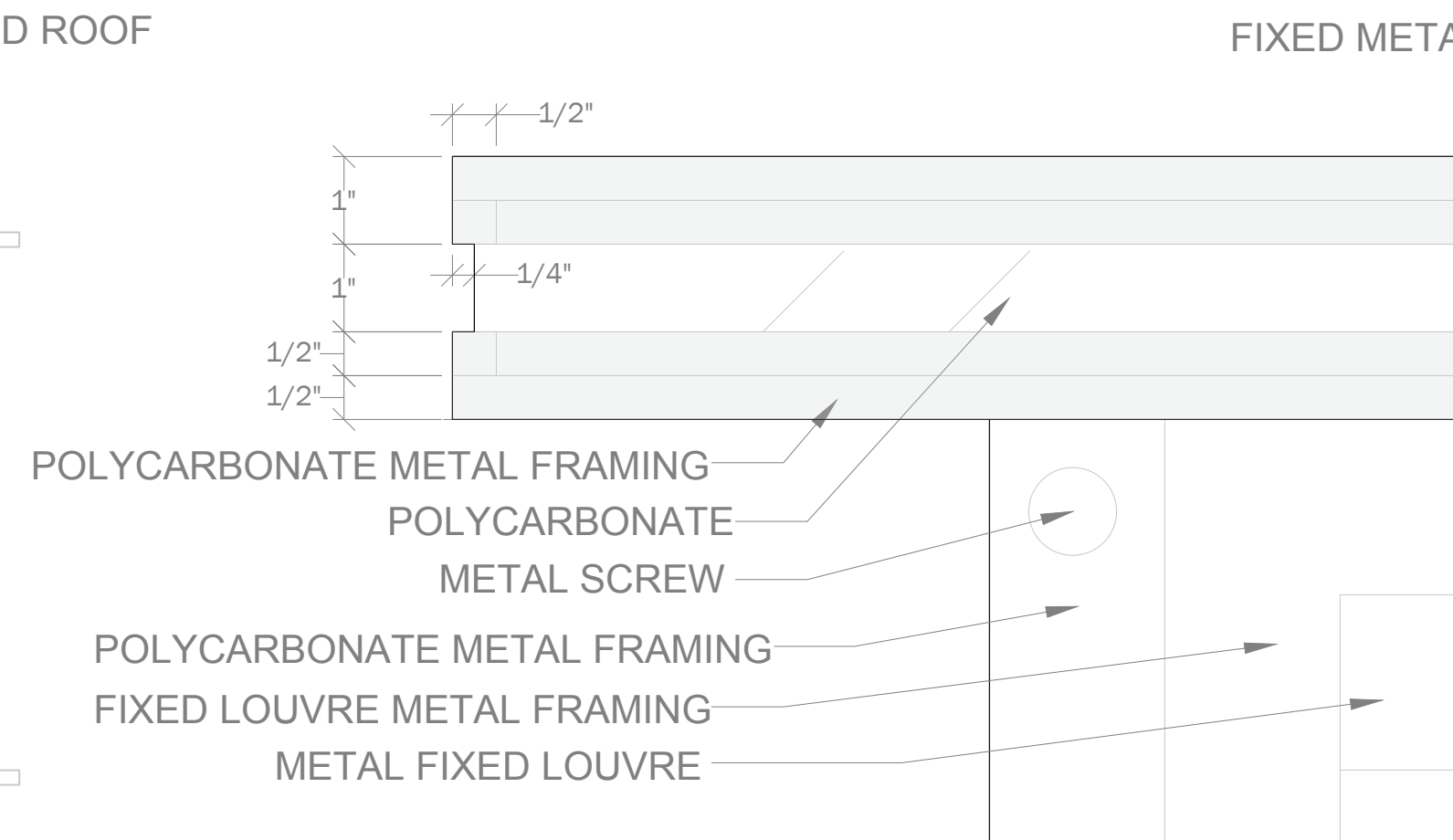


IMAGE 3



DETAIL 3

SCALE NTS



DETAIL 1

SCALE NTS



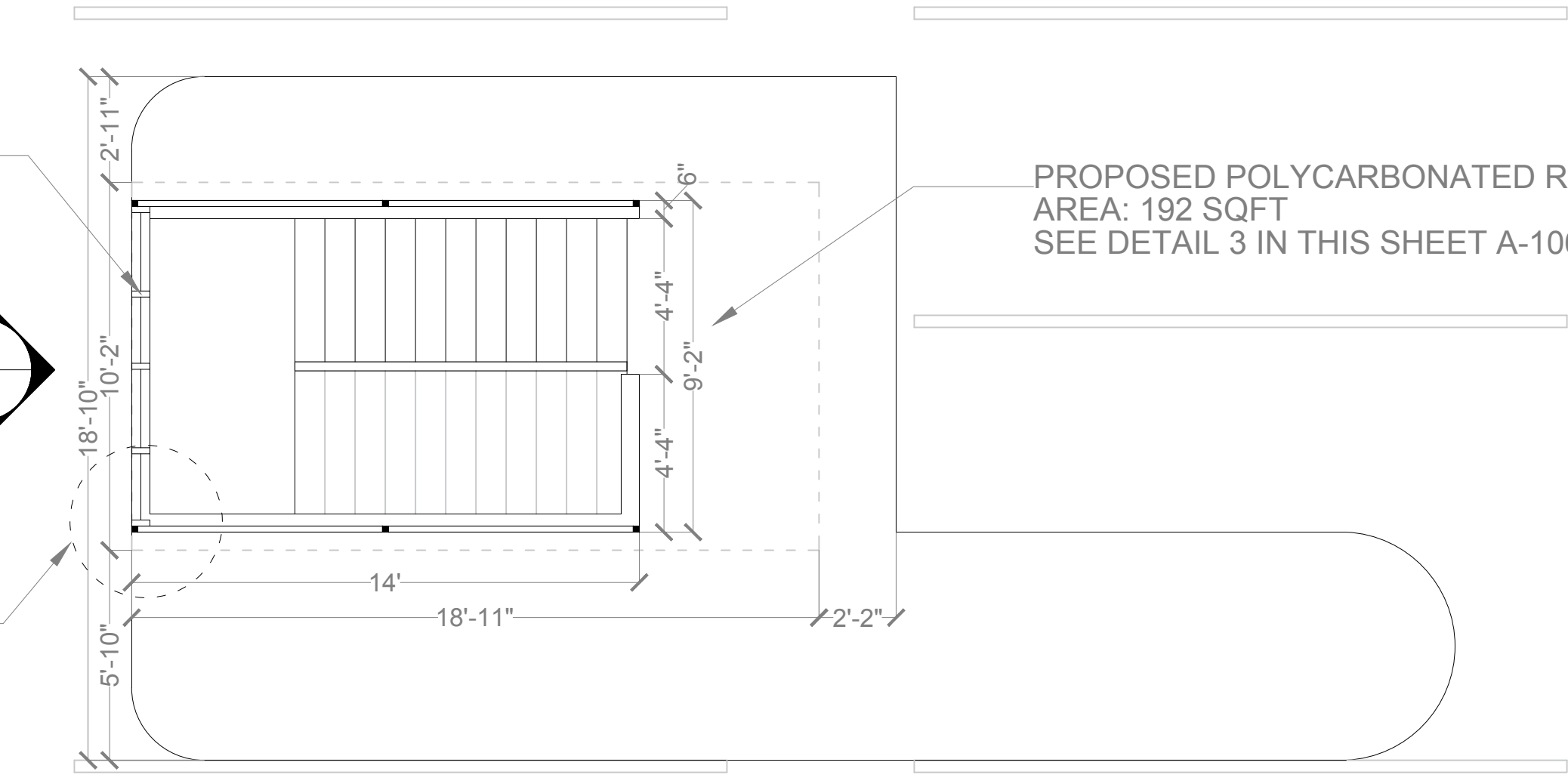
DETAIL 2: METAL FIXED LOUVRES

SCALE NTS

FIXED METAL LOUVRES

E 2

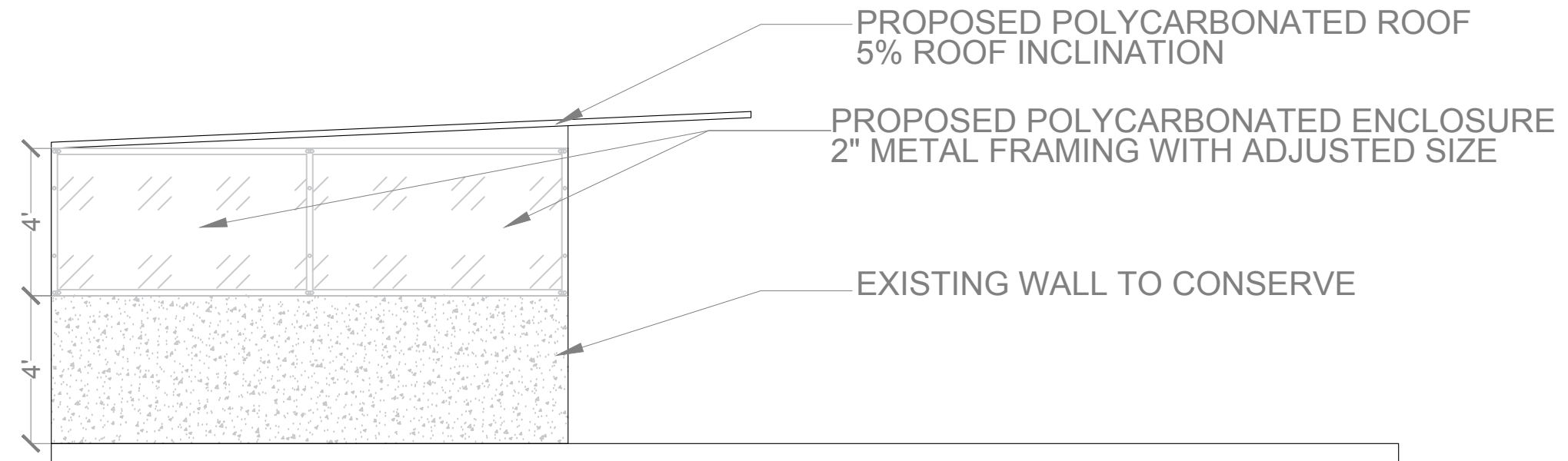
DETAIL 1



PROPOSAL PLAN VIEW

SCALE 1/4"=1'-0"

E 1



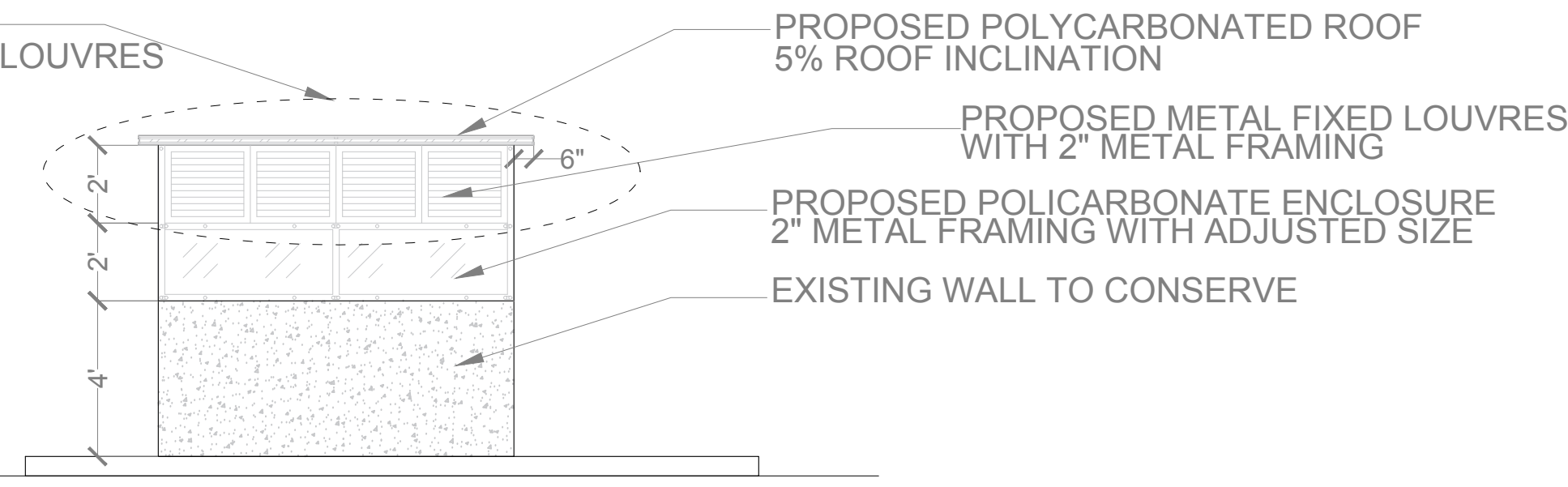
ELEVATION 2

SCALE: 1/4"=1'-0"

E 1

DETAIL 2

METAL FIXED LOUVRES



ELEVATION 2

SCALE: 1/4"=1'-0"

E 2

IMPORTAT NOTE: THE DRAWINGS PRESENTED ON THIS SHEET ARE SCHEMATIC. CONTRACTOR SHALL SUBMIT DRAWINGS OF THE 6TH LEVEL CEILING DESIGN TO THE DESIGNER SHOP FOR FINAL APPROVAL.

EXISTING CONDITIONS AND PHOTODOCUMENTATION

SCALE NTS

PROPOSED POLYCARBONATE ROOF

SCALE NTS



SIXTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT

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FILE

Dwg Name: WEL6.dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

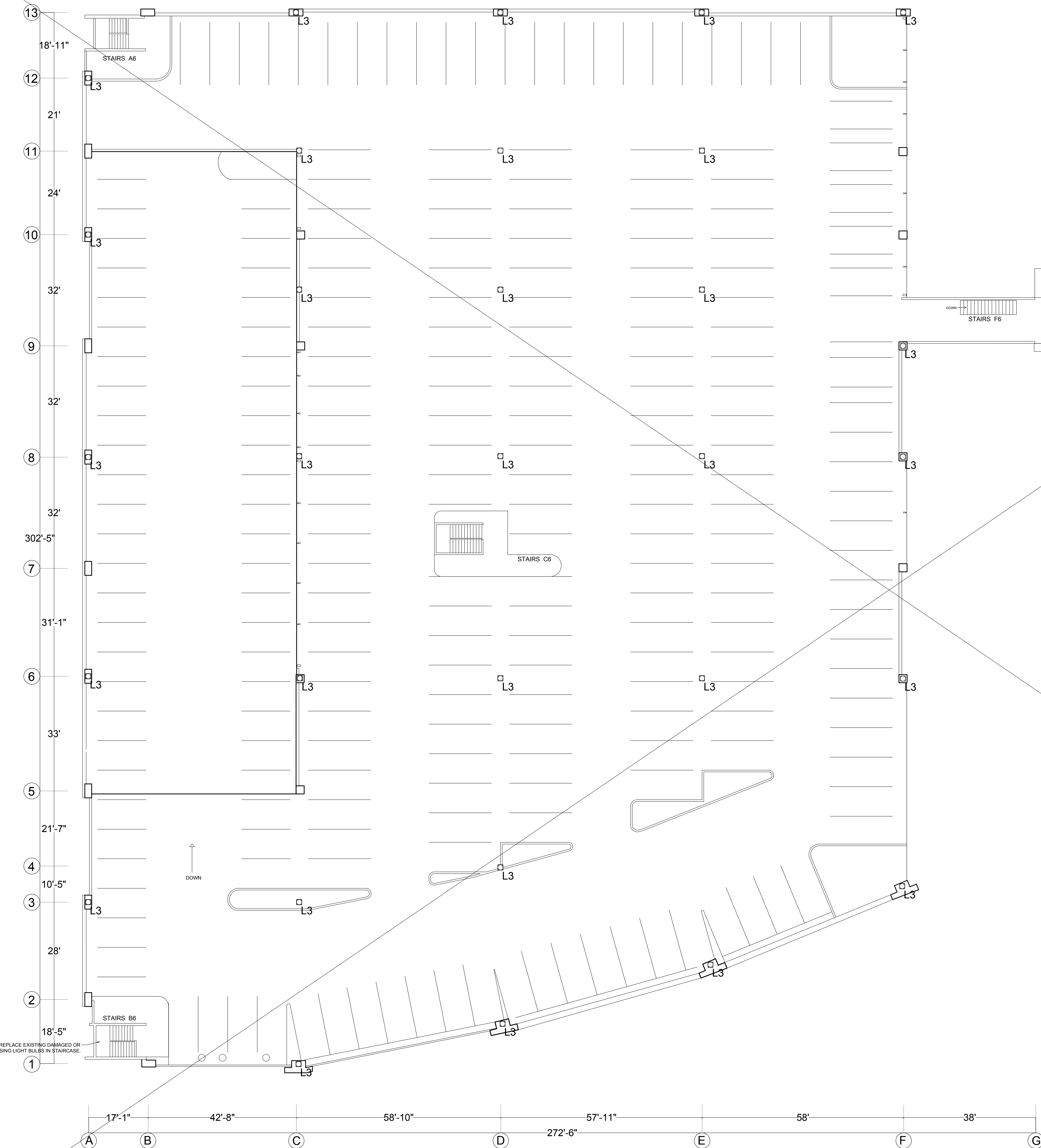
TITLE

EXISTING LIGHTING-SIXTH LEVEL

DRAWING NO.

E-110

PAGE: 25/30



LEGEND			
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EXISTING LIGHTING-SIXTH LEVEL

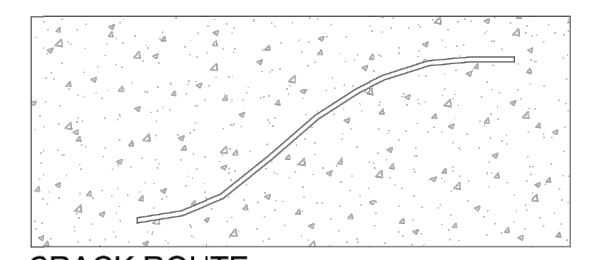
SCALE NTS



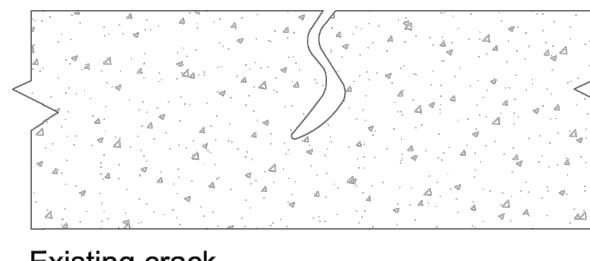
REPAIR PROCEDURE FOR DINAMIC CRACK (ROUTING AND SEALING)

A-7

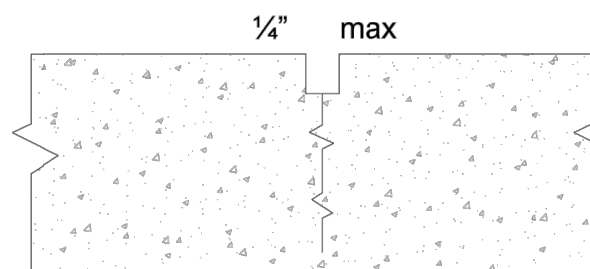
REPAIR PROCEDURE FOR DAMAGE OR MISSING BACKER ROD



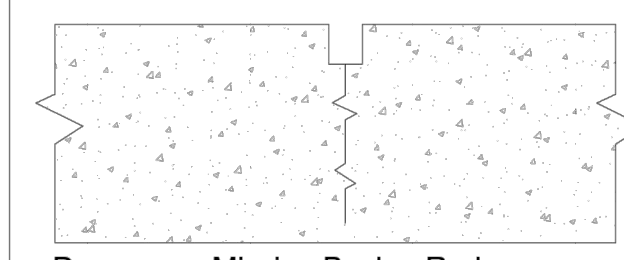
CRACK ROUTE



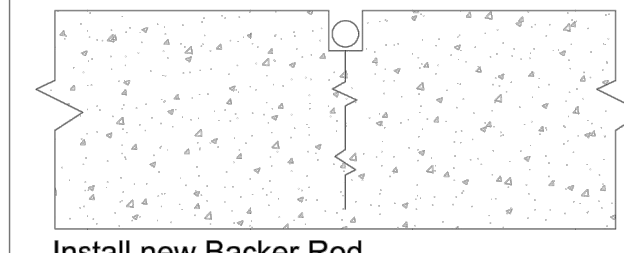
Existing crack



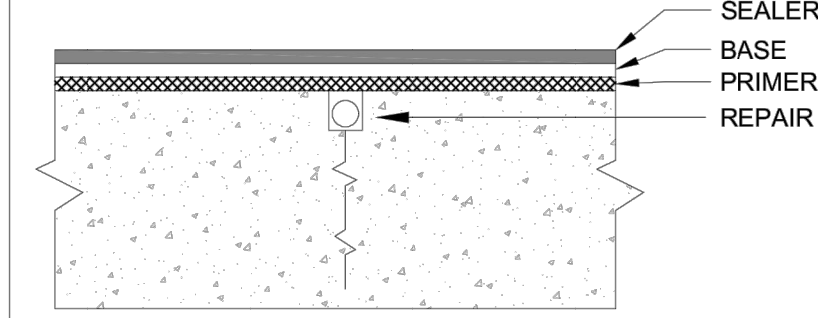
Mechanical cutting 1/4" x 1/4" max



Damage or Missing Backer Rod



Install new Backer Rod.



Applied Elastomeric Sealant

METHODS FOR CRACK REPAIR AND FLUID – APPLIED VEHICULAR TRAFFIC AND WATERPROFF COATING SYSTEMS

Reference:  
 ASTM C 801 Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete  
 ASTM D 920 Standard Specification for Elastomeric Joint Sealants  
 ACI 224 Joints in Concrete Construction  
 ACI 503 R Use of Epoxy Compounds with concrete

1) Epoxy injection

Cracks as narrow as 0.002 in. can be bonded by the injection of epoxy ("Crack Repair Method). The technique consists of establishing entry and venting ports at close intervals along the cracks, sealing the crack on exposed surfaces, and injecting the low-density epoxy under pressure. Epoxy materials used for structural repairs should conform to ASTM C 881 (Type IV). ACI 504R describes practices for sealing joints, including joint design, available materials, and methods of application.

- Cleaning the cracks. Clean any cracks that have been contaminated. Contaminants, such as oil, grease, dirt, or fine particles of concrete, prevent epoxy penetration and bonding, and reduce the effectiveness of repairs. Preferably, contamination should be removed by vacuuming or flushing with water or other effective cleaning solutions. Flushed out using compressed air and a neutralizing agent or adequate time is provided for air drying.
- Sealing the surfaces. Surface cracks should be sealed to keep the epoxy from leaking out before it has gelled. Where the crack face cannot be reached, but where there is backfill or where a slab-on-ground is being repaired, the backfill material or subbase material is sometimes an adequate seal. Extreme caution should be exercised when injecting cracks that are not visible on all surfaces. A surface can be sealed by applying an epoxy, polyester, or other appropriate sealing material to the surface of the crack and allowing it to harden. If a permanent glossy appearance along the crack is objectionable and if high injection pressure is not required, a strippable plastic surface sealer may be applied along the face of the crack.
- Mixing the epoxy. Follow the manufacturer instruction. Mixing is done by batch or continuous methods. In batch mixing, the adhesive components are premixed according to the manufacturer's instructions, usually with the use of a mechanical stirrer, like a paintmixing paddle. Care should be taken to mix only the amount of adhesive that can be used before commencement of gelling of the material. When the adhesive material begins to gel, its flow characteristics begin to change, and pressure injection becomes more and more difficult. In the continuous mixing system, the two liquid adhesive components pass through metering and driving pumps before passing through an automatic mixing head.

2) Routing and Sealing

Routing and sealing Routing and sealing of cracks can be used in conditions requiring repair where structural repair is not necessary. This method involves enlarging the crack along its exposed face and filling and sealing it with a suitable joint sealant. Routing and sealing can be accomplished on vertical surfaces (with a non-sag sealant) as well as on curved surfaces (pipes, piles, and poles). Routing and sealing are used to treat both narrow and wide cracks. A common and effective use is for waterproofing by sealing cracks on the concrete surface where water stands or where hydrostatic pressure is applied. This treatment reduces the ability of moisture to reach the reinforcing steel or pass through the concrete, causing surface stains or other problems. The sealants may be any of several materials, including epoxies, urethanes, silicones, polysulfides, asphaltic materials, or polymer mortars. Cement grouts should be avoided due to the likelihood of cracking. The sealant should be sufficiently rigid to support the anticipated traffic. Routing and sealing consist of preparing a vertical walled groove at the surface typically ranging in depth from 1/4 to 1 in. A concrete saw or right-angle grinder may be used. The groove is then cleaned by air blasting, sandblasting, or water blasting, and dried. A sealant is placed into the dry groove and allowed to cure. A variation of this procedure is to provide load transfer by having epoxy fill or partially fill the crack by gravity. The vertical-walled groove is used as a reservoir for epoxy that is selected for an appropriate viscosity. The final step is to fill the vertical-walled groove with a high-viscosity, rigid epoxy. Active cracks should be repaired using a bond breaker at the base of the routed channel. A flexible sealant is then placed in the routed channel. It is important that the width-to-depth ratio of the channel is usually 2 or more. This permits the sealant to respond to movement of the crack with high extensibility. In some cases, over banding (backer rod) is used independently of or in conjunction with routing and sealing. This method is used to enhance protection from edge spalling and, for aesthetic reasons, to create a more uniform-appearing treatment. A typical procedure for over banding is to prepare an area approximately 1 to 3 in. (25 to 75 mm) on each side of the crack by sandblasting or other means of surface preparation and applying a coating (such as urethane) 0.04 to 0.08 in. (1 to 2 mm) thick in a band over the crack. Cracks subject to minimal movement may be over banded, but if significant movement can take place, routing and sealing should be used in conjunction with over banding to ensure a waterproof repair.

3) Gravity Filling

Gravity filling Low-viscosity epoxy, monomers and resins can be used to seal cracks with surface widths of 0.001 to 0.08 in. by gravity filling like High molecular-weight methacrylates, urethanes, and some low viscosity epoxy. The lower the viscosity, the finer the cracks that can be filled. The typical procedure is to clean the surface by air blasting, waterblasting, or both. Wet surfaces should be permitted to dry for several days to obtain the best crack filling. The material should be worked back and forth over the cracks to obtain maximum filling because the monomer or resin recedes slowly into the cracks. Excess material should be broomed off the surface to prevent slick, shining areas after curing. If the cracks contain significant amounts of silt, moisture, or other contaminants, the sealant cannot fill them take action with this. Water blasting followed by a drying time may be effective in cleaning and preparing these cracks.

4) Expansion Joint Backer Rod

This method involves remove the existing expansion joint material along the mechanical routing, filling and sealing it with a suitable backer rod or any acceptable expansion joint substrate. Joint width to depth ratio should be 2 to 1 with a minimum depth of 1/4" or a maximum depth of 1". The diameter of the backer rod should be 1/8" larger than the width of the joint.

5) Fluid-applied vehicular traffic coating system per manufacturer recommendation.

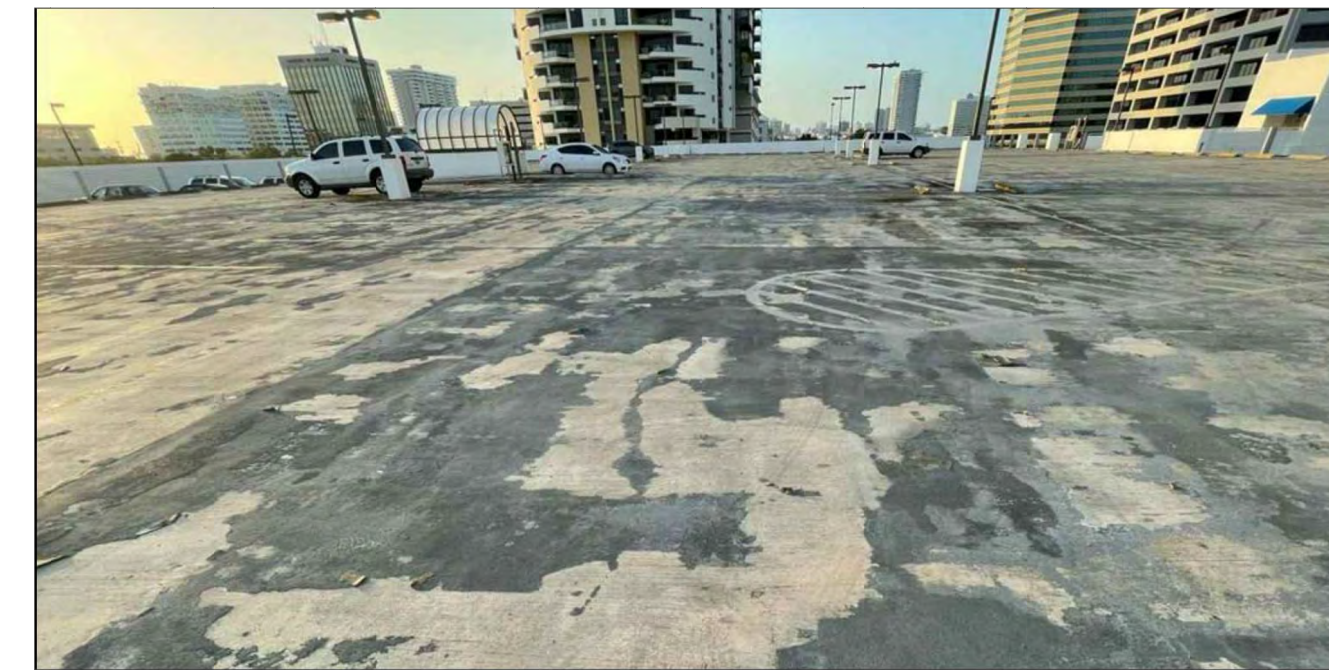
PHOTO DOCUMENTATION



TYPICAL VIEW OF EXPANSION JOINT



TYPICAL VIEW WATER POUNDING AREA



TYPICAL VIEW PARKING AREA

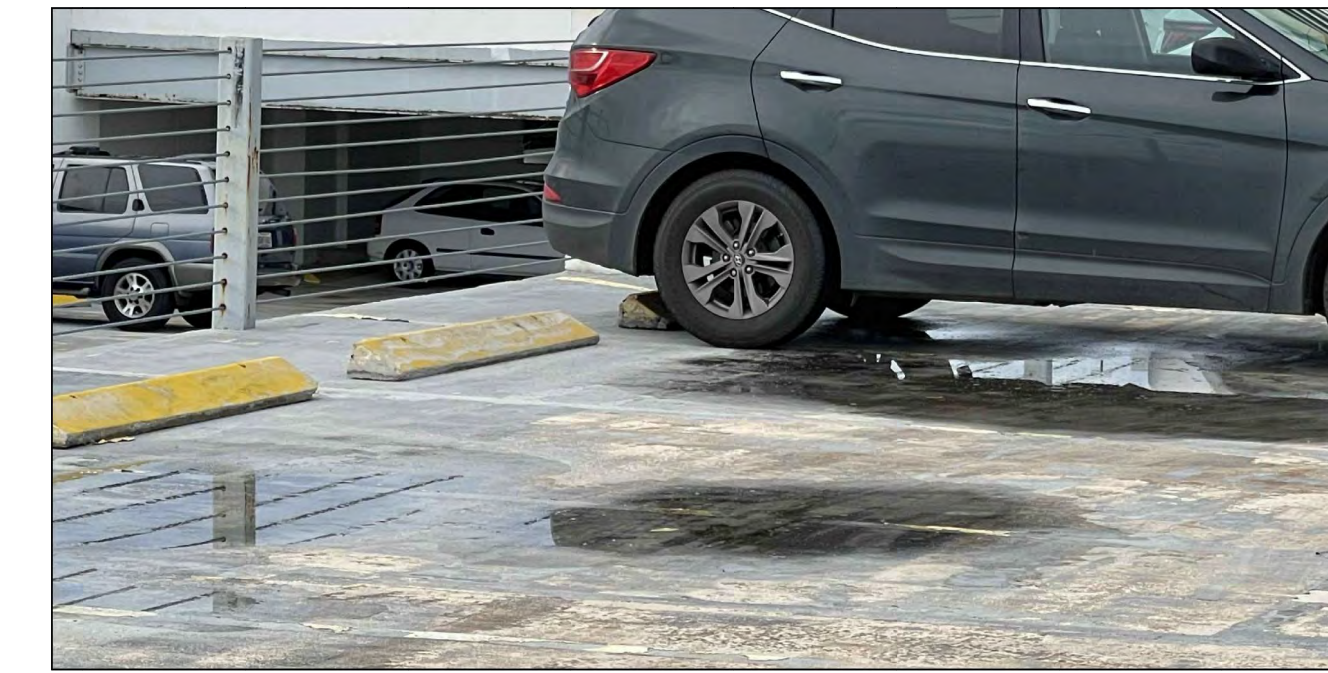


DAMAGE TRAFFIC SEALER SYSTEM

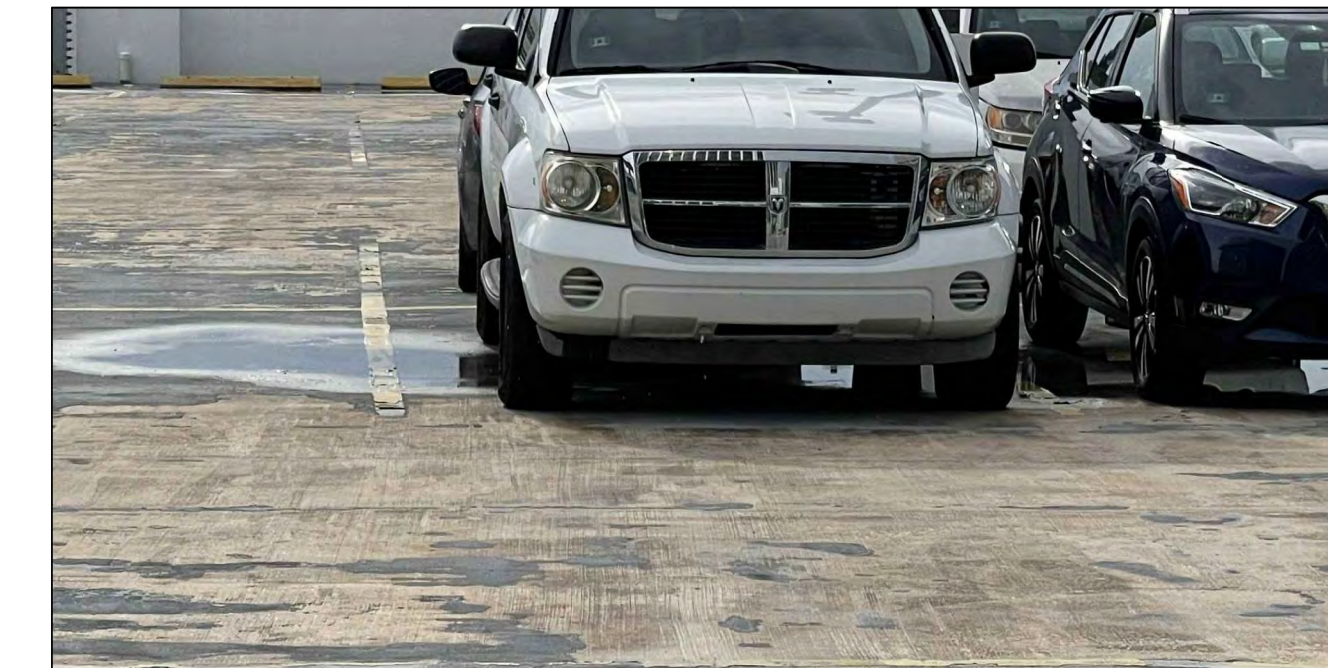


TYPICAL VIEW OF CRACKS

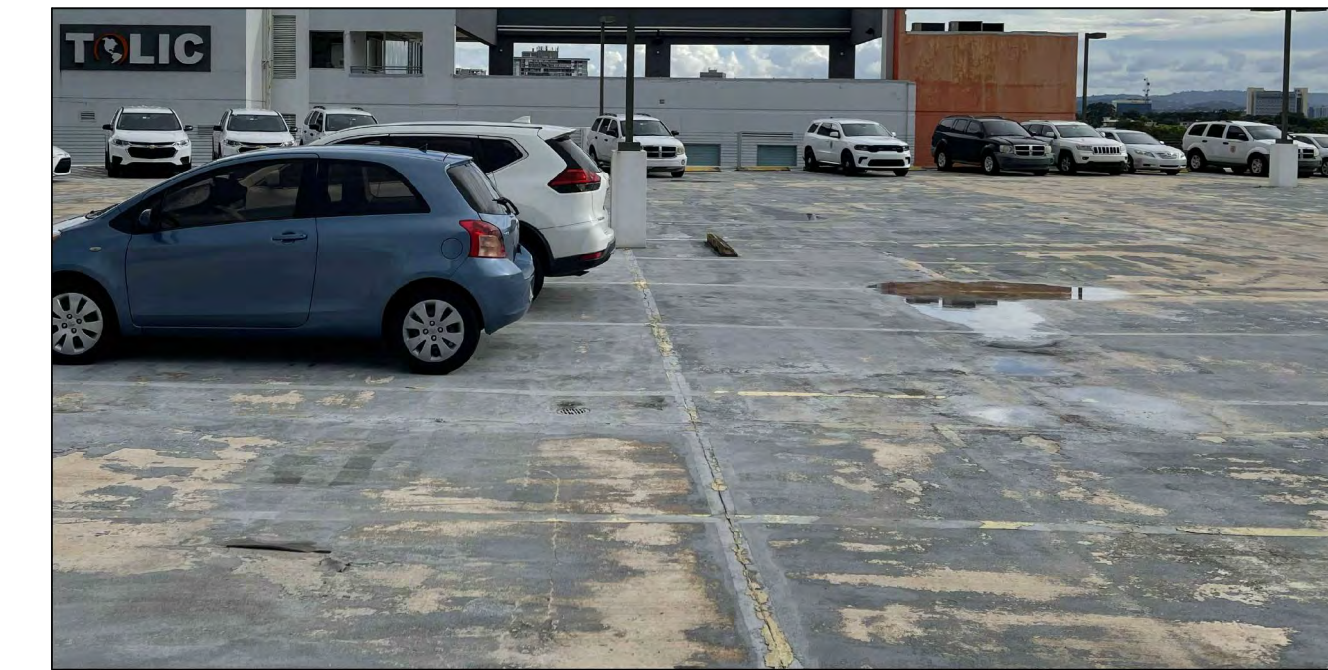
D-2



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM

ADDRESS

268 AVE. MUÑOZ RIVERA  
 SAN JUAN P.R.

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REVISIONS

REV. DATE DESCRIPTION BY CHK'D

REV.	DATE	DESCRIPTION	BY	CHK'D
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CERTIFICATION

I, WILLIAM MELÉNDEZ RÍVAS, LIC. 18383, CERTIFY THAT I AM THE PROFESSIONAL WHO (MADE, DESIGNED OR PREPARED) THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE GOVT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS BEEN COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY AND WITH THE LAW NO. 308 OF MAY 15, 2008, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY NEGLIGENCE OR RECKLESSNESS EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE CGPE.



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SIGNATURE



FILE

Dwg Name: WLELEA  
 Drawn by: INGENIUM PROFESSIONAL GROUP PSC  
 Revised by: Eng. W. Meléndez Rivas, #16383  
 Plot Scale:  
 Progress Print: Sep 16, 2024

TITLE

PROCEDURES

DRAWING NO.

C-500

PAGE: 27/30

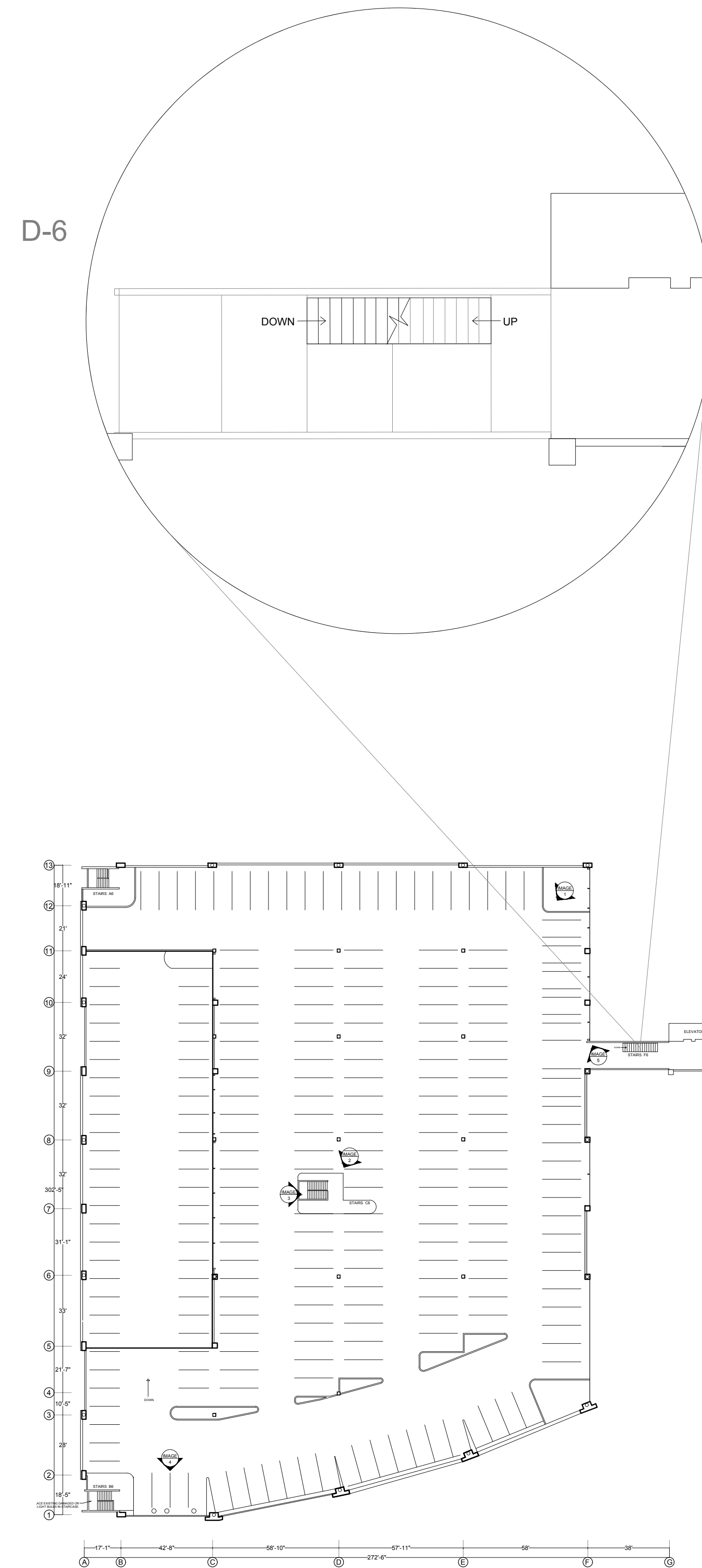
PROCEDURES

SCALE NTS





TYPICAL STRUCTURAL PHOTO DOCUMENTATION



TYPICAL VIEW



ELEMENTS WITH CORROSION AND PAINT DAMAGE

TYPICAL VIEW



WATER INTRUSION BETWEEN STEEL CONCRETE PARAPET AND STEEL

TYPICAL VIEW



ELEMENTS WITH CORROSION AND PAINT DAMAGE

TYPICAL VIEW



ELEMENTS WITH CORROSION AND PAINT DAMAGE

TYPICAL VIEW



ELEMENTS WITH CORROSION AND PAINT DAMAGE

ADDRESS

268 AVE. MUÑOZ RIVERA  
SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV.	DATE	DESCRIPTION	BY	CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEY EXPRESSLY DESIGNED.

IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMPENSATION.

CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCED TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO MADE, DESIGNED OR PREPARED THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE, OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS BEEN COMPLETED WITH THE PROVISIONS OF LAW 34-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE SELECTED MEXICAN INDUSTRY" AND WITH THE LAW NO. 338 OF MAY 15, 1938, AS AMENDED, ACT NO. 98 OF JULY 6, 1978, AS AMENDED, AS APPLICABLE. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE STATE.



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FILE

Dwg Name: WEL.Dwg  
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC  
Revised by: Eng. W. Melendez Rivas, #16383  
Plot Scale:  
Progress Print: Sep 16, 2024

TITLE

STRUCTURAL DETAILS

DRAWING NO.

S-100

STRUCTURAL DETAILS - REPLACEMENT OF EXISTING BEAM

SCALE NTS