PARKING LOT IMPROVEMENT

FIRST LEVEL; SECOND LEVEL; THIRD LEVEL; FOURTH LEVEL; FIFTH LEVEL & SIXTH LEVEL

OFICINA DE ADMINISTRACION DE LOS TRIBUNALES EDIFICIO WORLD PLAZA 268 AVE. MUÑOZ RIVERA, SAN JUAN P.R.



EXISTING AND GENERAL CONDITIONS

- 1.THE CONTRACTOR WILL VISIT THE WORKPLACE TO VERIFY THE EXISTING MEASURES AND CONDITIONS.
- 2.CONTRACTOR IS RESPONSIBLE FOR THE WAYS AND METHODS OF CONSTRUCTION.
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION WITH THE PHYSICAL CONDITION OF THE BUILDING TO ENSURE THEY ARE CORRECT.
- IT IS THE DIRECT RESPONSIBILITY TO MAKE OAT PERSONNEL KNOW OF ANY DISCREPANCY IN EXISTING CONDITIONS BEFORE AWARDING THE PROJECT AND CONSULT OAT WHO CONTACT ARCHITECT OR ENGINIEER IN RECORD.
- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR ALL MATERIAL, LABOR AND ANY EQUIPMENT NECESSARY FOR THE EXECUTION OF THE WORKS.
- 6. THE SAFETY OF THE SITE, WORKERS AND OAT PERSONNEL IS THE RESPONSIBILITY OF THE CONTRACTOR WHILE THEY ARE EXECUTING THE PROJECT AND SHALL BE RESPONSIBLE FOR PROTECTING ANY SERVICES THAT THEY FIND IN THE AREA UNDER CONSTRUCTION, NOT LIMITED TO PLUMBING, ELECTRICAL, GAS AND POTABLE WATER SERVICES. AND SANITARY, TELEPHONY AND CABLE SERVICE THAT MAY BE AFFECTED BEFORE AND DURING THE IMPROVEMENT WORK.
- CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOAD, TRANSPORT

AND DISPOSE OF ALL DEBRIS GENERATED AS PART OF THE WORKS EXECUTED AS PART OF THE SCOPE OF WORK. ALL MATERIAL RESULTING FROM THE WORK MUST BE REMOVED SAFELY OUT OF THE PROJECT. STORAGE OF DEBRIS WILL NOT BE ALLOWED IN THE BUILDING FOR MORE THAN THREE CONSECUTIVE DAYS.

- 9. ANY WORK TO BE PERFORMED MUST COMPLY WITH ACCESSIBILITY STANDARDS AND IN COMPLIANCE WITH THE "2010 ADA STANDARD FOR ACCESIBLE DESIGN AND THE FEDERAL UNIFORM ACCESSIBILITY STANDARD".
- 10. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE 2028 IBC, 2028 IEBC AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE, STANDARDS, REGULATIONS AND LAWS.
- 11. LIQUID DAMAGES FOR DELAY WILL BE DISCUSSED AT THE TIME OF PRE-PURCHASE
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE, IF THE PROJECT IS AWARDED, TO HAVE THE CORRESPONDING INSURANCE, WHICH GUARANTEES THE COVERAGE OF THE POSSIBLE DAMAGES CAUSED BY THEM IN THE PROJECT.
- 13. THE SPECIFICATIONS TO BE USED ARE THOSE THAT APPLY ACCORDING TO THE WORKS REQUIRED IN THE LAST SECTION OF THIS SET OF PLANS.
- 14. THE MATERIALS TO BE USED MUST BE 100% FREE OF ASBESTOS AND LEAD.

15.THESE DRAWINGS ARE CONSIDERED AS THE FINALS. CATEGORY:"ISSUES FOR CONSTRUCTION"



PAGE INDEX

SHEET CODE

14

E-111

C-500

TITLE PAGE

PARKING AS- BUILT_FIRST LEVEL

EXISTING LIGHTING_FIRST LEVEL

PROPOSED LIGHTING_FIRST LEVEL

PARKING AS-BUILT_SECOND LEVEL

EXISTING LIGHTING_SECOND LEVEL

PARKING AS- BUILT_THIRD LEVEL

EXISTING LIGHTING_THIRD LEVEL

PROPOSED LIGHTING_THIRD LEVEL

PARKING AS-BUILT_FOURTH LEVEL

EXISTING LIGHTING_FOURTH LEVEL

PROPOSED LIGHTING_FOURTH LEVEL

PARKING AS- BUILT_FIFTH LEVEL

EXISTING LIGHTING_FIFTH LEVEL

PROPOSED LIGHTING_FIFTH LEVEL

PARKING AS- BUILT_ SIXTH LEVEL

EXISTING LIGHTING_SIXTH LEVEL

PROCEDURES

S-100 STRUCTURAL DETAILS

PROPOSED DETAILS IPR PROPOSED DETAILS II

PROPOSED LIGHTING_SIXTH LEVEL

PROPOSED LIGHTING_SECOND LEVEL

PROPOSED STRUCTURAL RECOMMENDATIONS_FIRST LEVEL

PROPOSED STRUCTURAL RECOMMENDATIONS_SECOND LEVEL

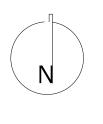
PROPOSED STRUCTURAL RECOMMENDATIONS_THIRD LEVEL

PROPOSED STRUCTURAL RECOMMENDATIONS_FOURTH LEVEL

PROPOSED STRUCTURAL RECOMMENDATIONS_FOURTH LEVEL

PROPOSED STRUCTURAL RECOMMENDATIONS_SIXTH LEVEL

PROPOSED POLYCARBONATE ROOF BLOWUP_SIXTH LEVEL

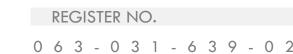


LOCATION

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | GEOLOCALIZADOR- MIPR

Junta de Planificación. Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Catastro: 063-031-639-02 Coordenadas Nad83 x: 2359564.2074, y: 265481.8088 (Lat: 18.42458962, Lon: -66.05884430)



RICO | GEOLOCALIZADOR- MIPR

Junta de Planificación. Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P. NGA, USGS Clasificación: Oficializacion del geodato en proceso, favor de

referirse al mapa de calificacion vigente. Clasificación PT: Oficializacion del geodato en proceso, favor de referirse al mapa de calificacion vigente.

Clasificación PUT: SU 99%. VIAL 1% Distrito Sobrepuesto: APE-ZC (Área de Planificación Especial Zona Cársica)

Zona Histórica:

Sitio Histórico:-

SAN JUAN, PUERTO RICO

FLOOD MAP

OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO RICO | MAPA NIVELES DE INUNDACIÓN BASE

Junta de Planificación. Programa de Sistema de Información Geográfica | Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Zona Inundabilidad Advisory:X

Zona Inuundabilidad (Firm):

Panel de Inundabilidad:72000C0365J

Floodway: NO UBICA EN FLOODWAY Suelo (NRCS): SNS (Soil not surveyed)

REVISIONS REV. DATE DESCRIPTION BY CHK'D TOPOGRAPHY OBTAINED FROM: JUNTA DE PLANIFICACIÓN DE PUERTO

IMPORTANT NOTES TO THE CONTRACTOR

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

PODER JUDICIAL

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TITLE PAGE

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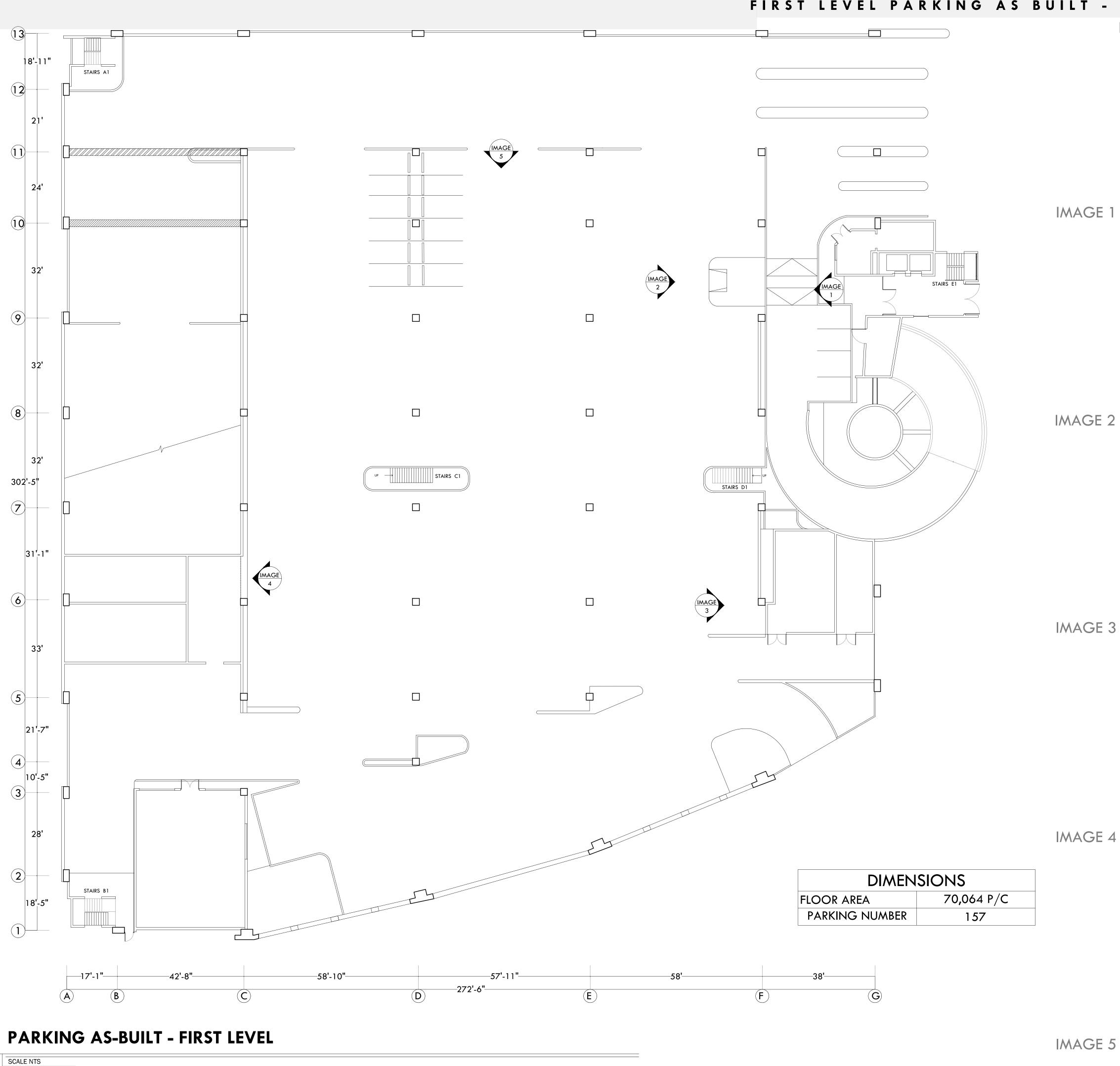
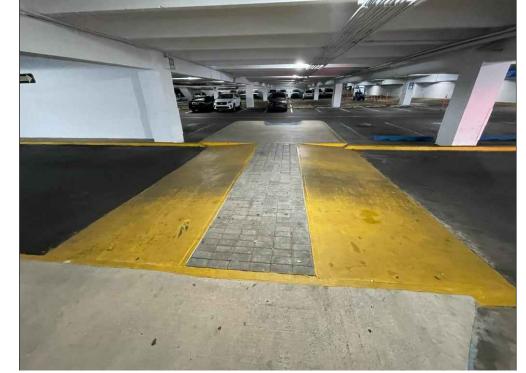


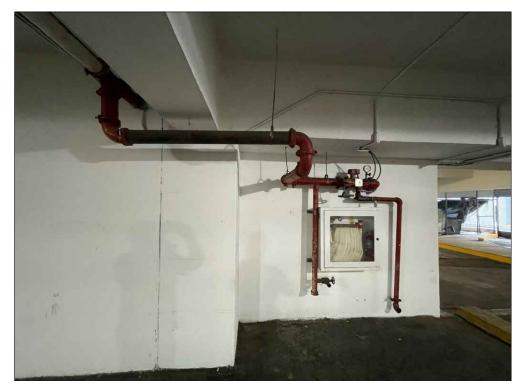
PHOTO DOCUMENTATION



TYPICAL PEDESTRIAN CROSSING RAMP



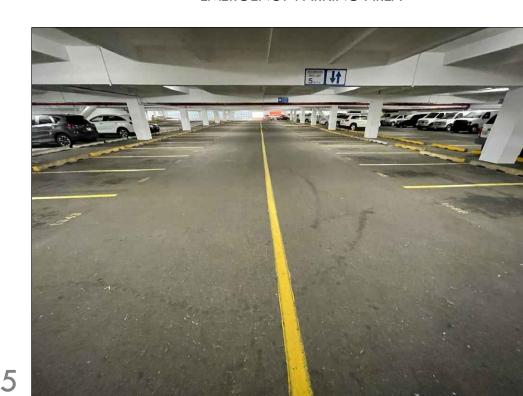
TYPICAL ADA CURB RAMP PAINT REQUIREMENT



FIRE CONTROLS SYSTEMS TO BE PAINTED



EMERGENCY PARKING AREA



TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

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REGISTER NO. 0 6 3 - 0 3 1 - 6 3 9 - 0 2

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Plot Scale:

Progress Print:

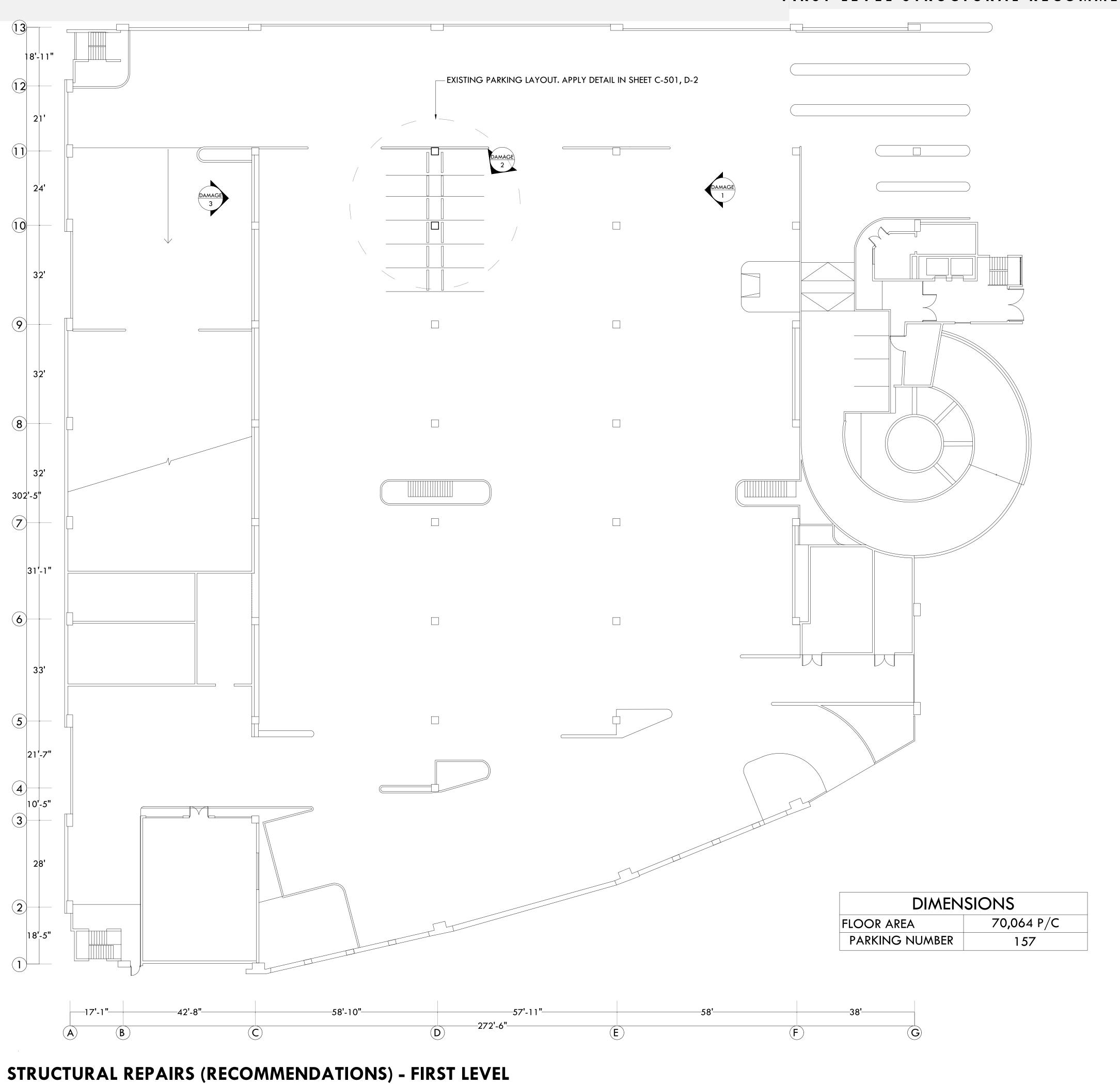
TITLE

PARKING AS-BUILT-FIRST LEVEL

DRAWING NO.

C-100

2/30 PAGE:



SCALE NTS

PHOTO DOCUMENTATION



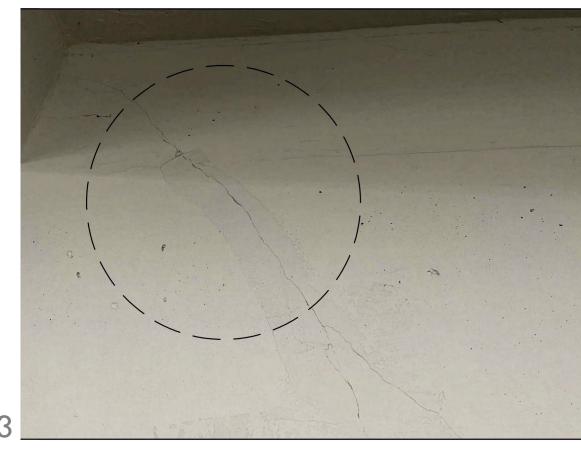
DAMAGE

CORROSION OF CONCRETE SLAB AT CORNER



DAMAGE 2

WHEEL-STOPS WITH INADEQUATE SUPPORT



DIAGONAL CRACKING OF RC POST-TENSIONED BEAMS

DAMAGE 3

	RECOMMENDATIONS
DAMAGE	DESCRIPTION
1	WHEN OCCURS, APPLY TABLE R606.2.8 AND PLASTERING RECOMMENDATION ON SHEET 502, DETAIL A-2
2	WHEN OCCURS, STRAIGHTEN, ANCHOR AND PAINT.
3	WHEN OCCURS, APPLY RECOMMENDATION ON SHEET 502, DETAIL A-8

GENERAL NOTES

1. CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW **PRODUCT**

2.PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD.

3. PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE.

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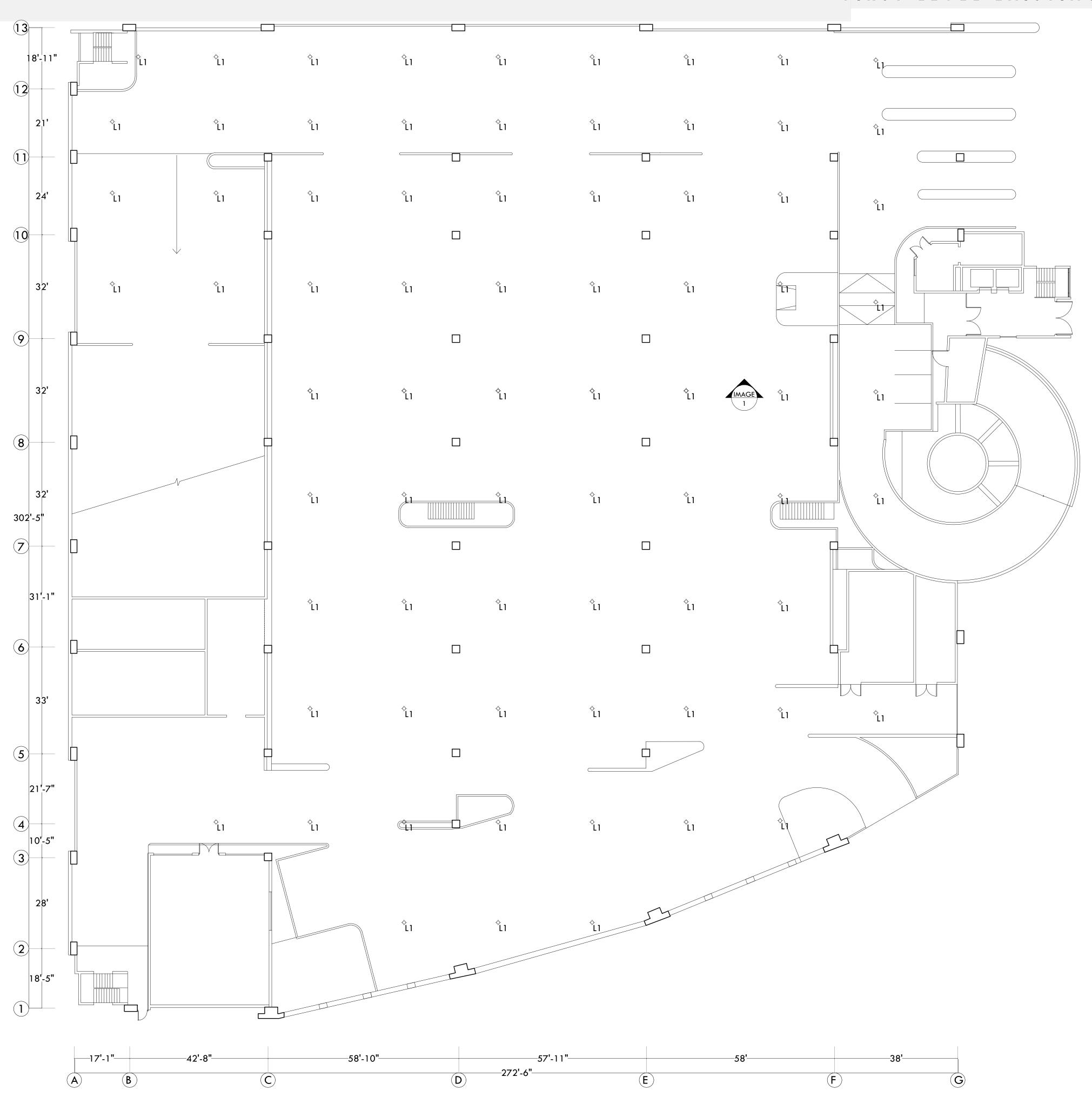
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STRUCTURAL **RECOMMENDATIONS-FIRST**

LEVEL

3/30

DRAWING NO. A-100



EXISTING LIGHTING- FIRST LEVEL

SCALE NTS

TYPE CONDITION QTY DESCRIPTION LIGHTING

PHOTOGRAPHIC DOCUMENTATION

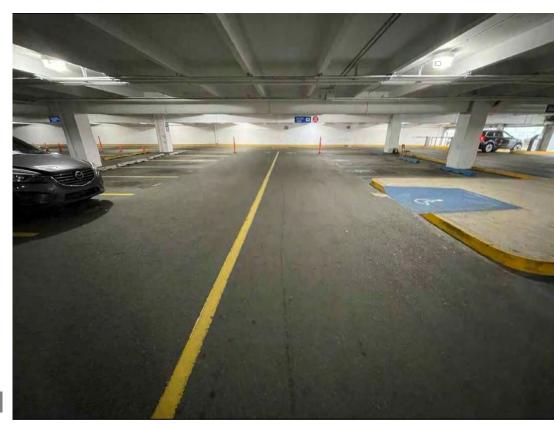


IMAGE 1

EXISTING LIGHTING

GENERAL NOTES

1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.

2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.

3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.

4.OUTDOOR SPOTLIGHT IP-66.

5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

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Dwg Name: ESTACIONAMIENTO WORLD PLAZA GROUND.dwg Drawn by: INGENIUM PROFESSIONAL GROUP,PSC Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

TITLE

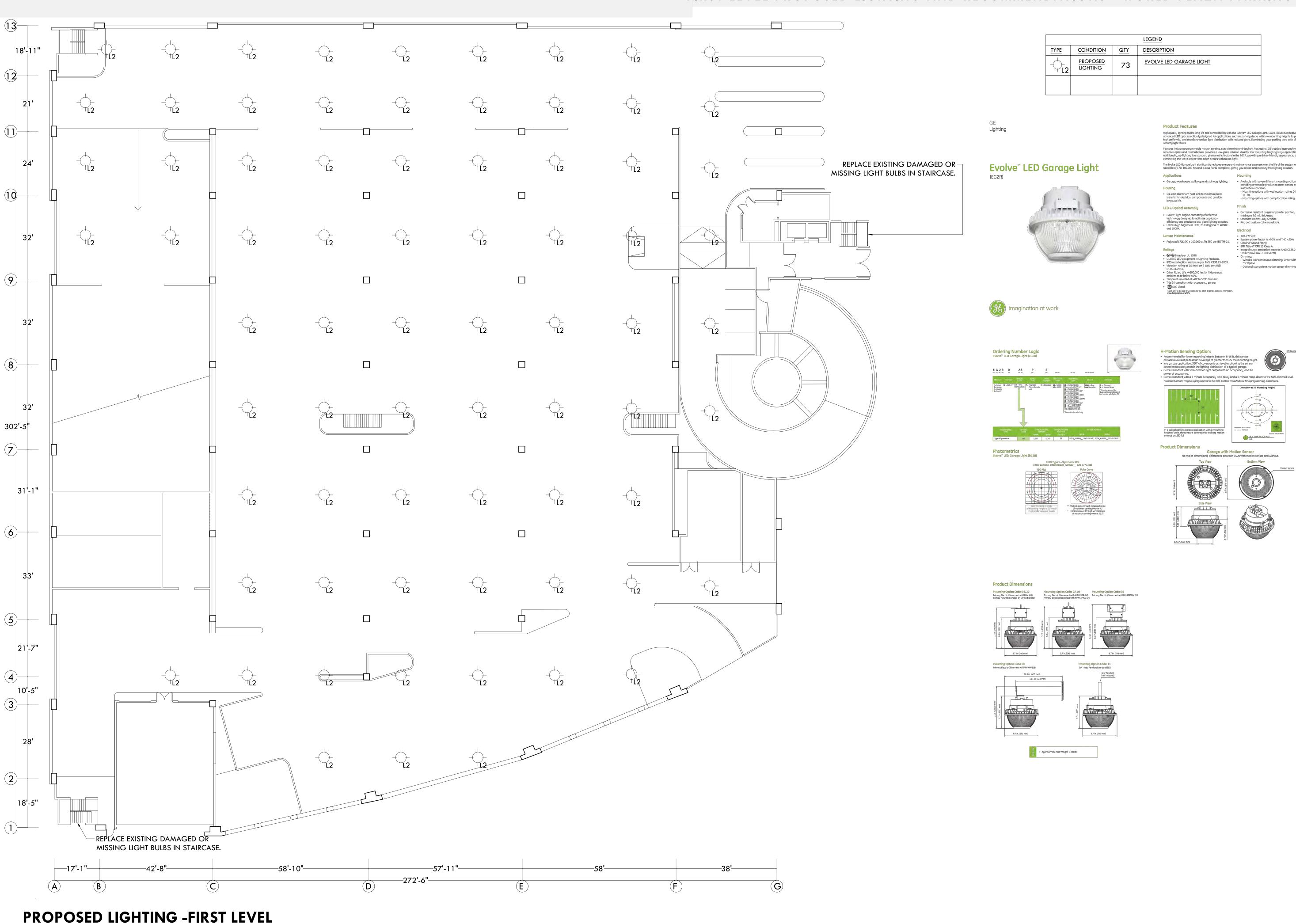
EXISTING LIGHTING- FIRST LEVEL

DRAWING NO.

E-100

4/30

FIRST LEVEL PROPOSED LIGHTING AND RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



SCALE NTS

ADDRESS

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REVISIONS

rev. date description by chk'd

Product Features

High quality lighting meets long life and controllability with the EvolveTM LED Garage Light, EG2R. This fixture features an advanced LED optic specifically designed for applications such as parking decks with low mounting heights to provide high uniformity and excellent vertical light distribution with reduced glare, illuminating your parking area with effective security light levels. Features include programmable motion sensing, step dimming and daylight harvesting. GE's optical approach with reflective optics and prismatic lens provides a low-glare solution ideal for low mounting height garage applications. Additionally, up-lighting is a standard photometric feature in the EG2R, providing a driver-friendly appearance, and eliminating the "cave-effect" that often occurs without up-light.

Garage, warehouse, walkway and stairway lighting.

Projected L70(10K) > 100,000 at Ta 25C per IES TM-21.

Supply Stated per UI. 1598.

UI. 8750 LED equipment in Lighting Products.

IP65 roted optical enclosure per ANSI C136.25-2009.

Vibration rating at 16 [min] on 2 oxis, per ANSI C136.31-2010.

Driver Rated Life >=100,000 hrs for fixture max ambient at or below 40°C.

Temperature rated of 1-40° to 50°C ambient.

Title 24 compliant with occupancy sensor.

Available with seven different mounting options providing a versatile product to meet almost any field installation condition.

Mounting options with wet location rating: 04, 05, 06, 11, 20.

Mounting options with damp location rating: 01, 02.

120-277 volt.
System power factor is >90% and THD <20%
Class 'A' Sound rating.
EMI: Title 47 CFR 15 Class A.
Integral surge protection exceeds ANSI C136.2-2015
'Basic' (EMI/SIA - 120 Events).
Dimming:
Wired 0-10V continuous dimming. Order with
'D' Option.
Optional standalone motion sensor dimming.

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EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY
KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND
DISCIPLINARY ACTION BY THE OGPE.



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SIGNATURE



Dwg Name: ESTACIONAMIENTO WORLD PLAZA GROUND.dwg Drawn by: INGENIUM PROFESSIONAL GROUP, PSC Revised by: Eng. W. Meléndez Rivas, #16383 Plot Scale:

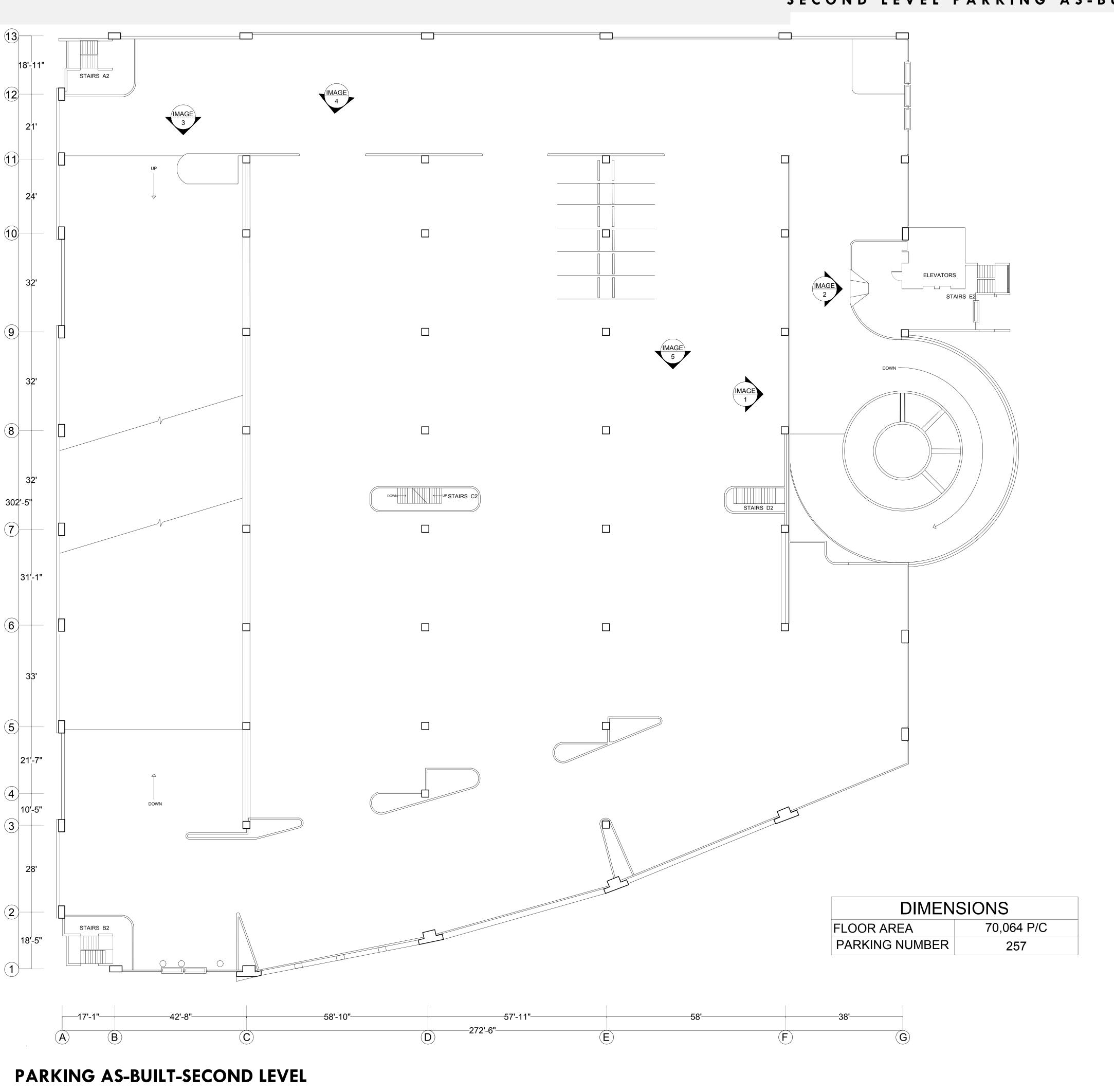
PROPOSED LIGHTING-FIRST

LEVEL

TITLE

DRAWING NO. E-101

5/30 PAGE:



SCALE NTS

PHOTO DOCUMENTATION



IMAGE 1

TYPICAL PARKING AREA

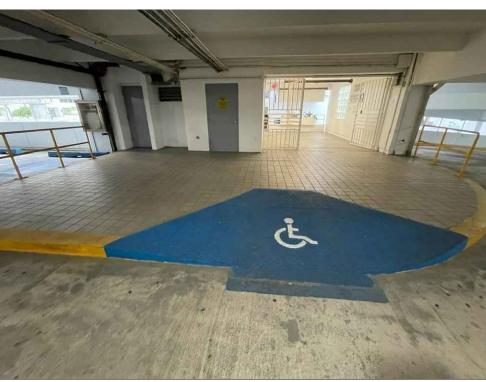


IMAGE 2

IMAGE 3

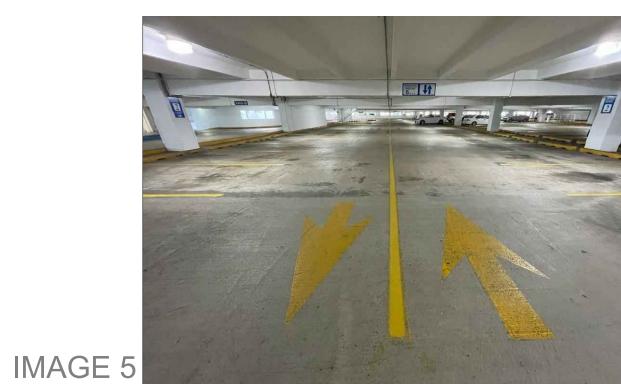
TYPICAL ADA CURB RAMP PAINT REQUIREMENT



TYPICAL CURB PAINT REQUIREMENT



TYPICAL PARKING AREA



TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



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Dwg Name: NIVEL 2.dwg Drawn by: INGENIUM PROFESSIONAL GROUP, PSC Revised by: Eng. W. Meléndez Rivas, #16383

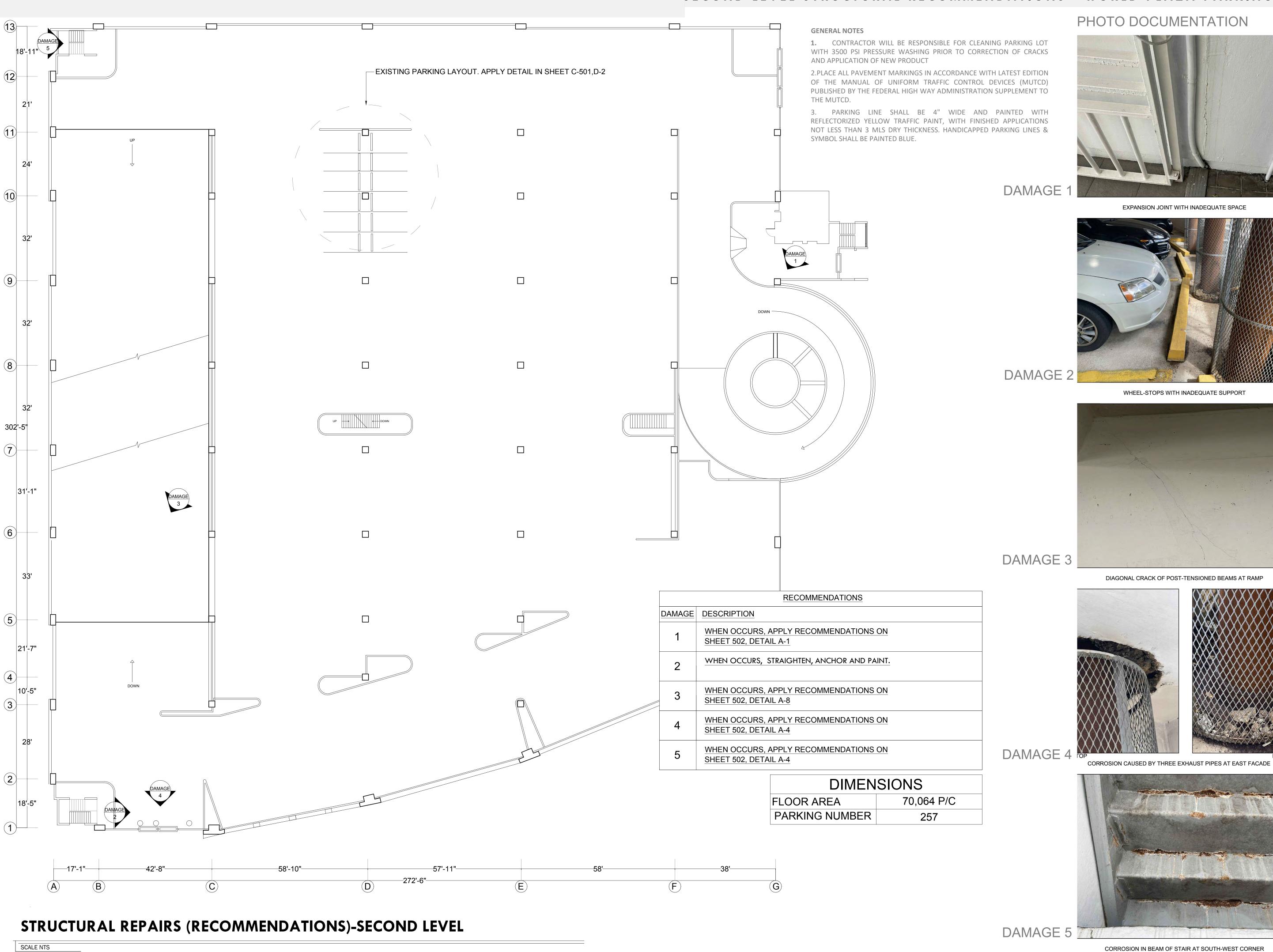
TITLE

PARKING AS-BUILT - SECOND LEVEL

DRAWING NO. C-101

6/30

SECOND LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



DRAWING NO.

ADDRESS

268 AVE. MUÑOZ RIVERA

SAN JUAN P.R.

PODER JUDICIAL

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REV. DATE DESCRIPTION BY CHK'D

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Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891

Email: info@ingenium.group

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CERTIFICATION

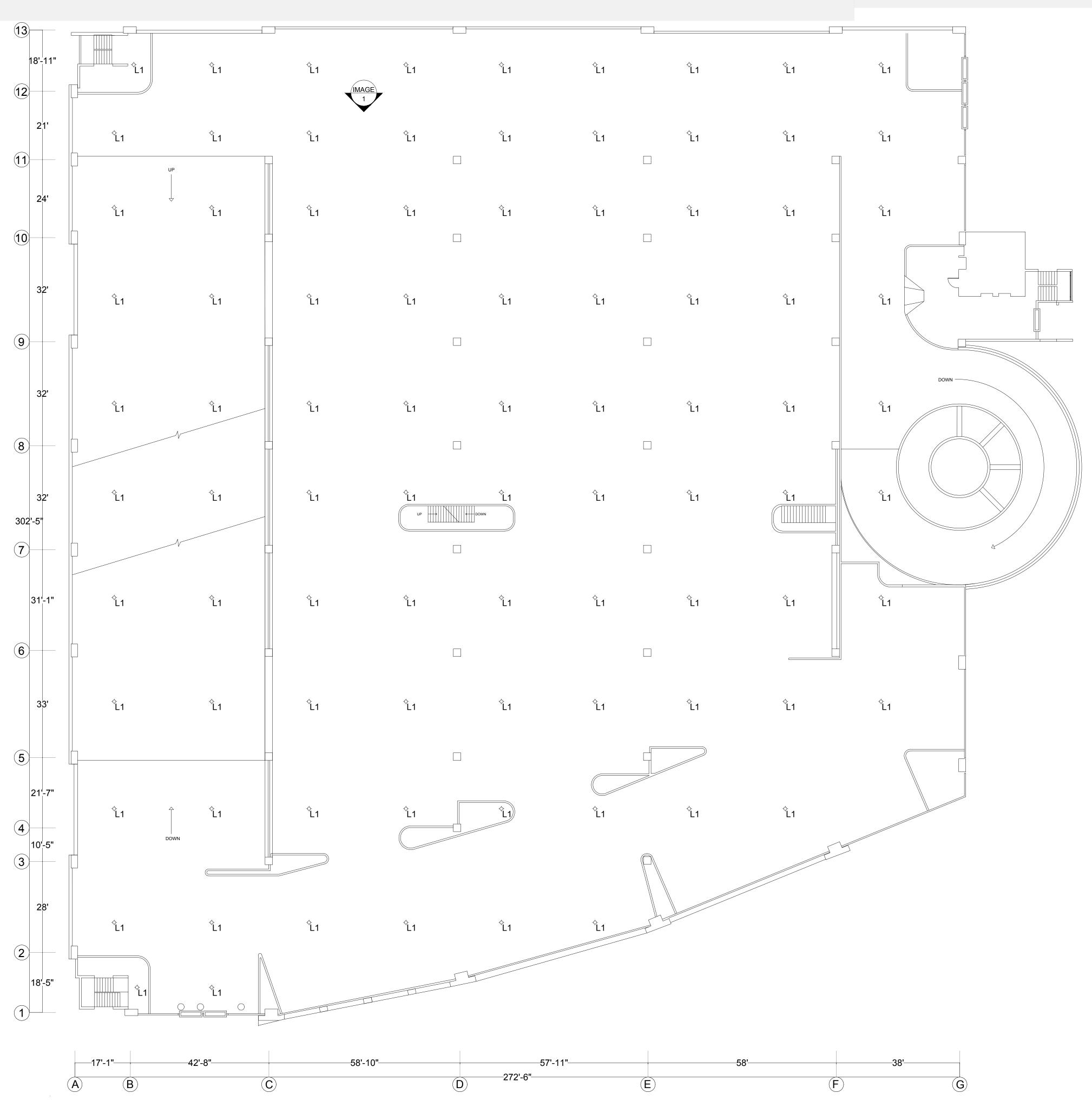
REGISTER NO.

REVISIONS

A-101

STRUCTURAL **RECOMMENDATIONS** -SECOND LEVEL

SECOND LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



EXISTING LIGHTING-SECOND LEVEL

SCALE NTS

PHOTO DOCUMENTATION

TYPE CONDITION QTY DESCRIPTION

L1 LIGHTING

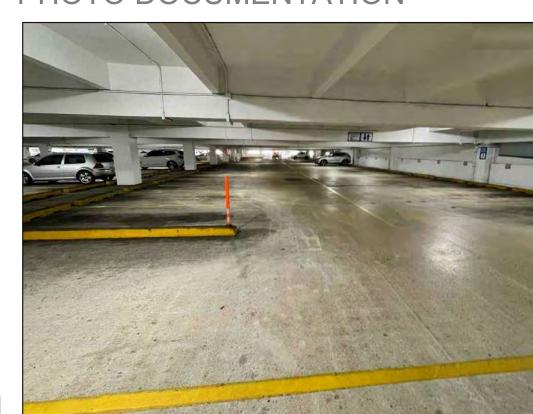


IMAGE 1

EXISTING LIGHTING

GENERAL NOTES

1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.

2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.

3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.

4.OUTDOOR SPOTLIGHT IP-66.

5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

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SIGNATURE



Dwg Name: NIVEL 2.dwg

Drawn by: INGENIUM PROFESSIONAL GROUP,PSC Revised by: Eng. W. Meléndez Rivas, #16383 Plot Scale:

TITLE

EXISTING LIGHTING-SECOND LEVEL

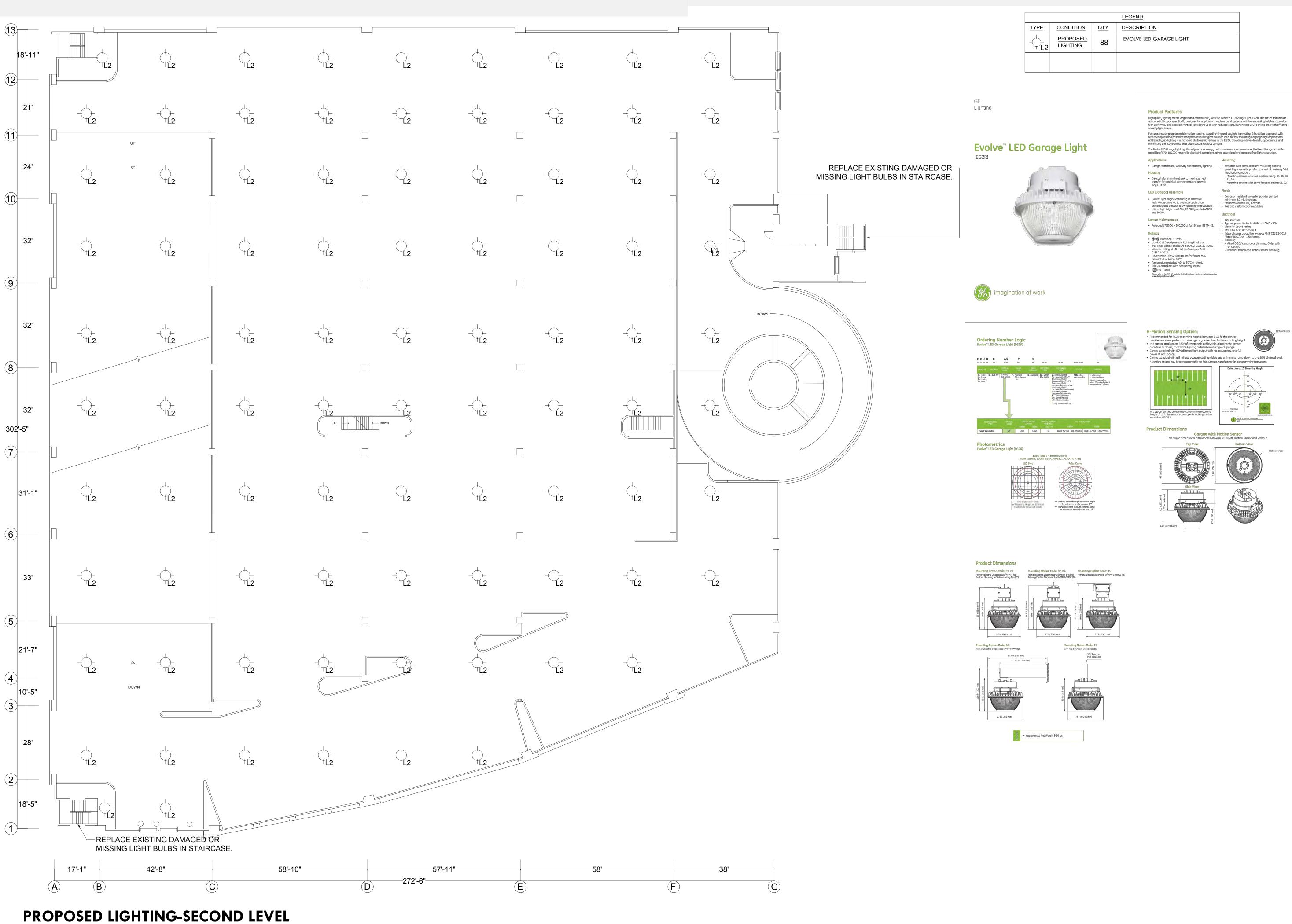
DRAWING NO.

PAGE:

E-103

8/30

SECOND LEVEL PROPOSED LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



SCALE NTS

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

Mil: Itle 47 CPH 15 class A. Integral surge protection exceeds ANSI C136.2-2015 "Basic" (6kV/3kA - 120 Events).
 Dimming:
 Wired 0-10V continuous dimming. Order with "D" Option.
 Optional standalone motion sensor dimming.

REV. DATE DESCRIPTION BY CHK'D

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FILE

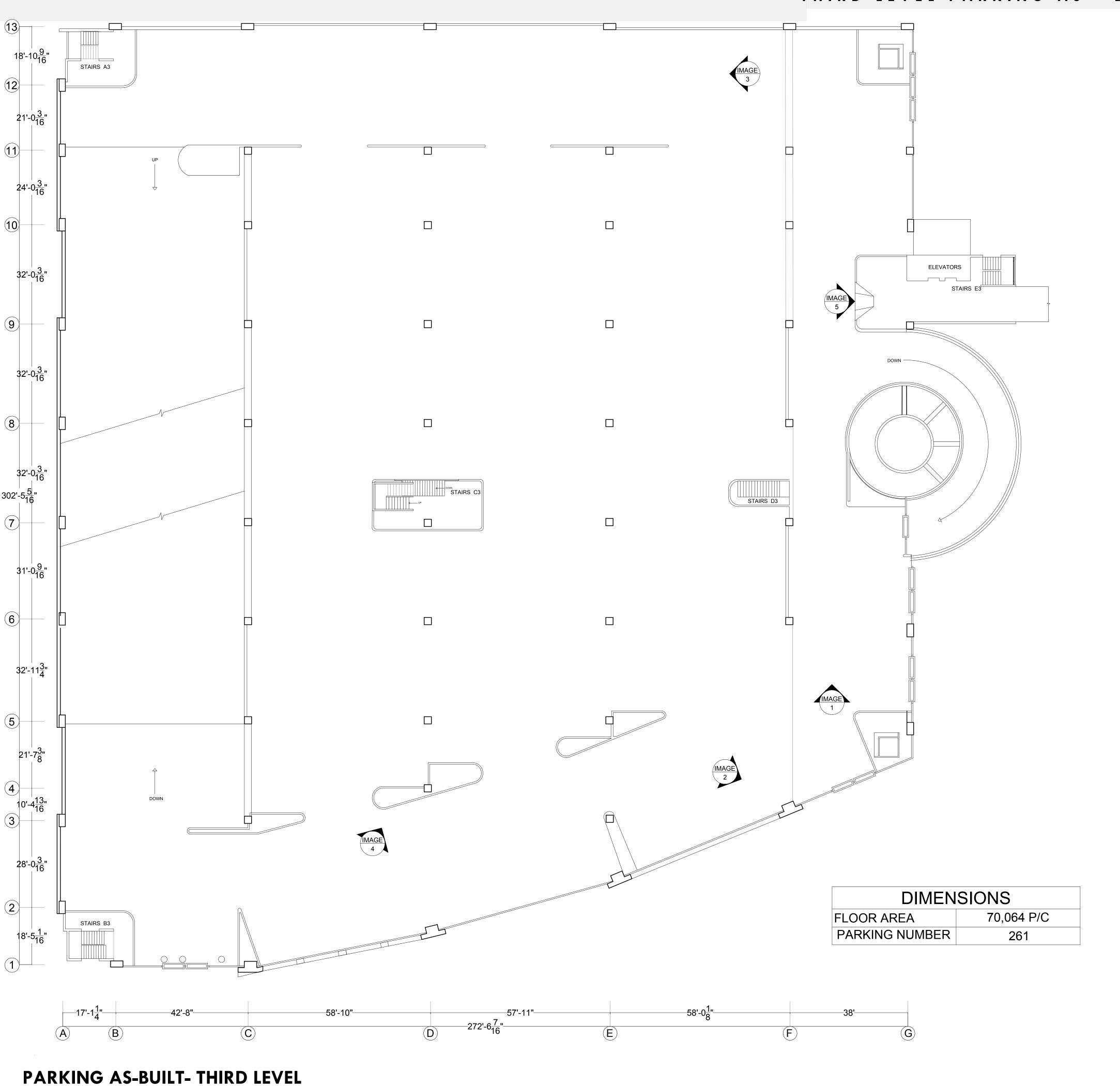
Dwg Name: NIVEL 2.dwg Drawn by: INGENIUM PROFESSIONAL GROUP, PSC Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

TITLE

PROPOSED LIGHTING -SECOND LEVEL

DRAWING NO. E-104



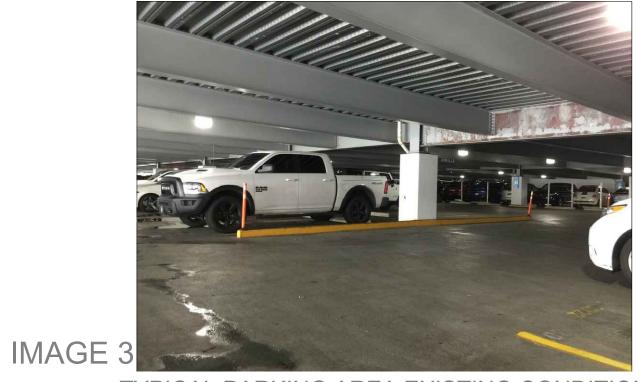
SCALE NTS

PHOTO DOCUMENTATION

IMAGE ' TYPICAL PARKING AREA



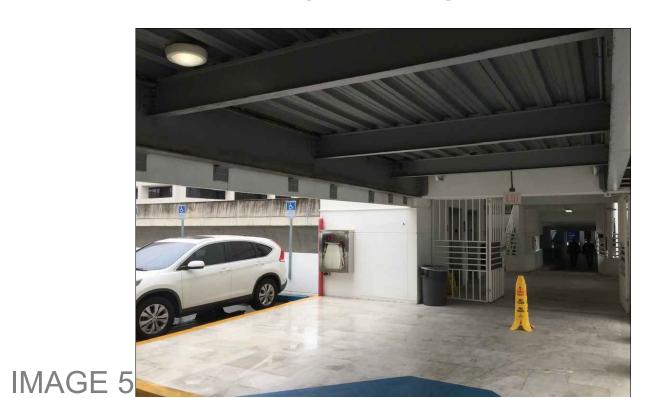
IMAGE 2 FIRE CONTROLS SYSTEMS TO BE PAINTED



TYPICAL PARKING AREA EXISTING CONDITIONS



IMAGE 4 TYPICAL PARKING AREA



STRUCTURAL MEMBERS VIEW OF PEDESTRIAN BRIDGE BETWEEN BUILDING AND PARKING LOTS LEVELS 4 TO 6

ADDRESS 268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

> OWNER PODER JUDICIAL

REGISTER NO. 0 6 3 - 0 3 1 - 6 3 9 - 0 2 REVISIONS REV. DATE DESCRIPTION BY CHK'D

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Drawn by: INGENIUM PROFESSIONAL GROUP,PSC Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

PARKING AS-BUILT-THIRD

10/30

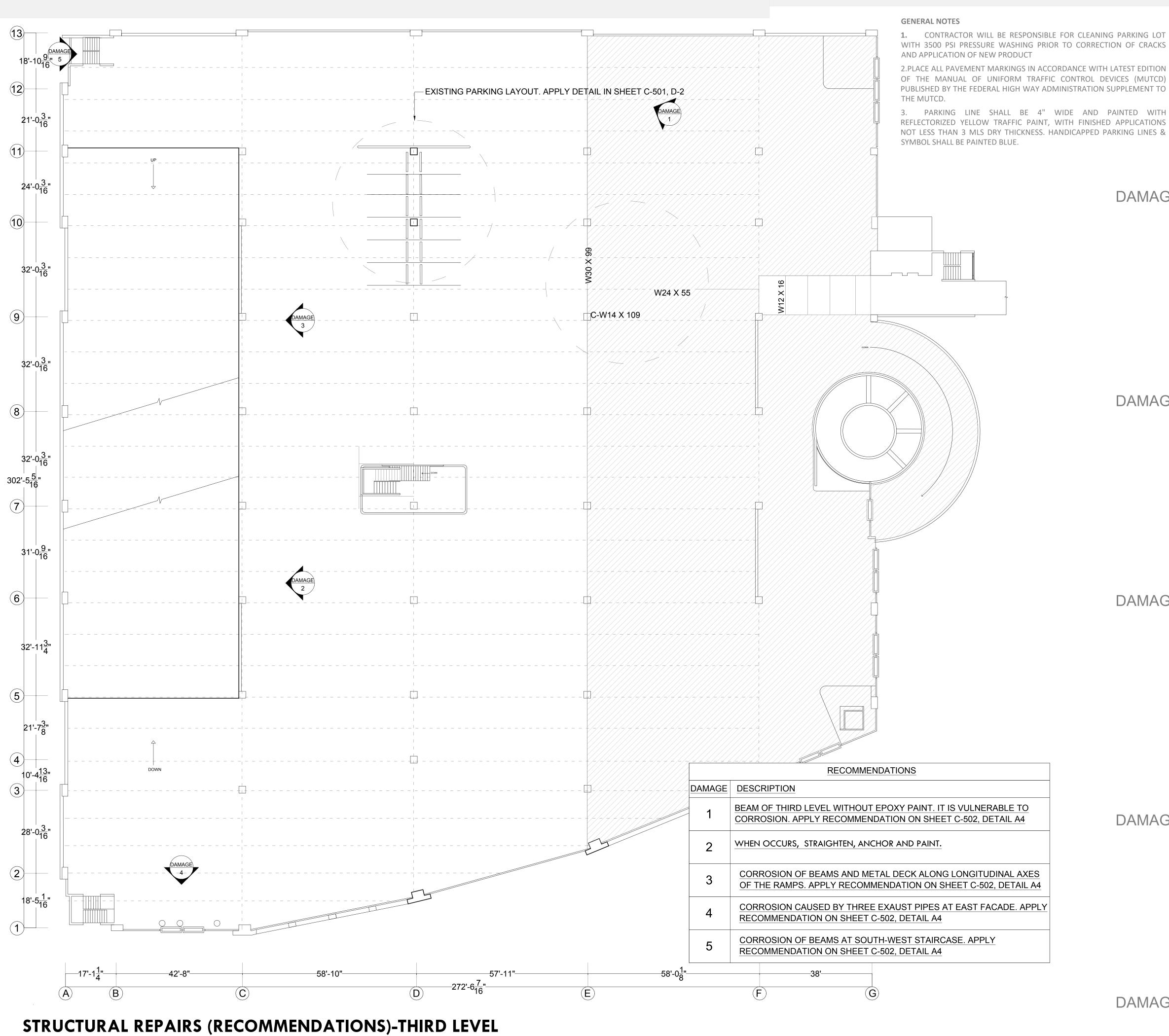
LEVEL

DRAWING NO. C-102

PAGE:

THIRD LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT

DAMAGE

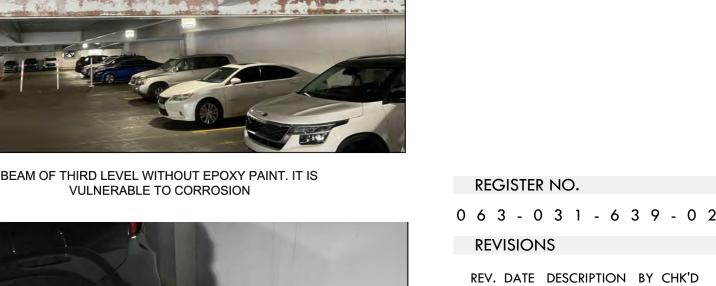


SCALE NTS

PHOTO DOCUMENTATION

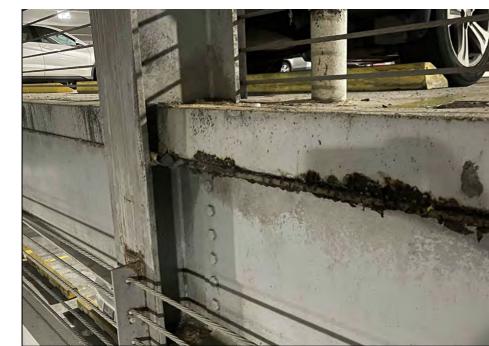


BEAM OF THIRD LEVEL WITHOUT EPOXY PAINT. IT IS



DAMAGE 2

WHEEL-STOPS WITH INADEQUATE SUPPORT



CORROSION OF BEAMS AND METAL DECK ALONG LONGITUDINAL



DAMAGE 4

DAMAGE 3



CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE



DAMAGE 5

CORROSION OF BEAMS OF STAIR AT SOUTH-WEST STAIR

DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FO I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE

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WITHOUT THE CONSENT OF THE ENGINEER. THE PERSON WHO IS

268 AVE. MUÑOZ RIVERA

SAN JUAN P.R.

PODER JUDICIAL

OWNER



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SIGNATURE

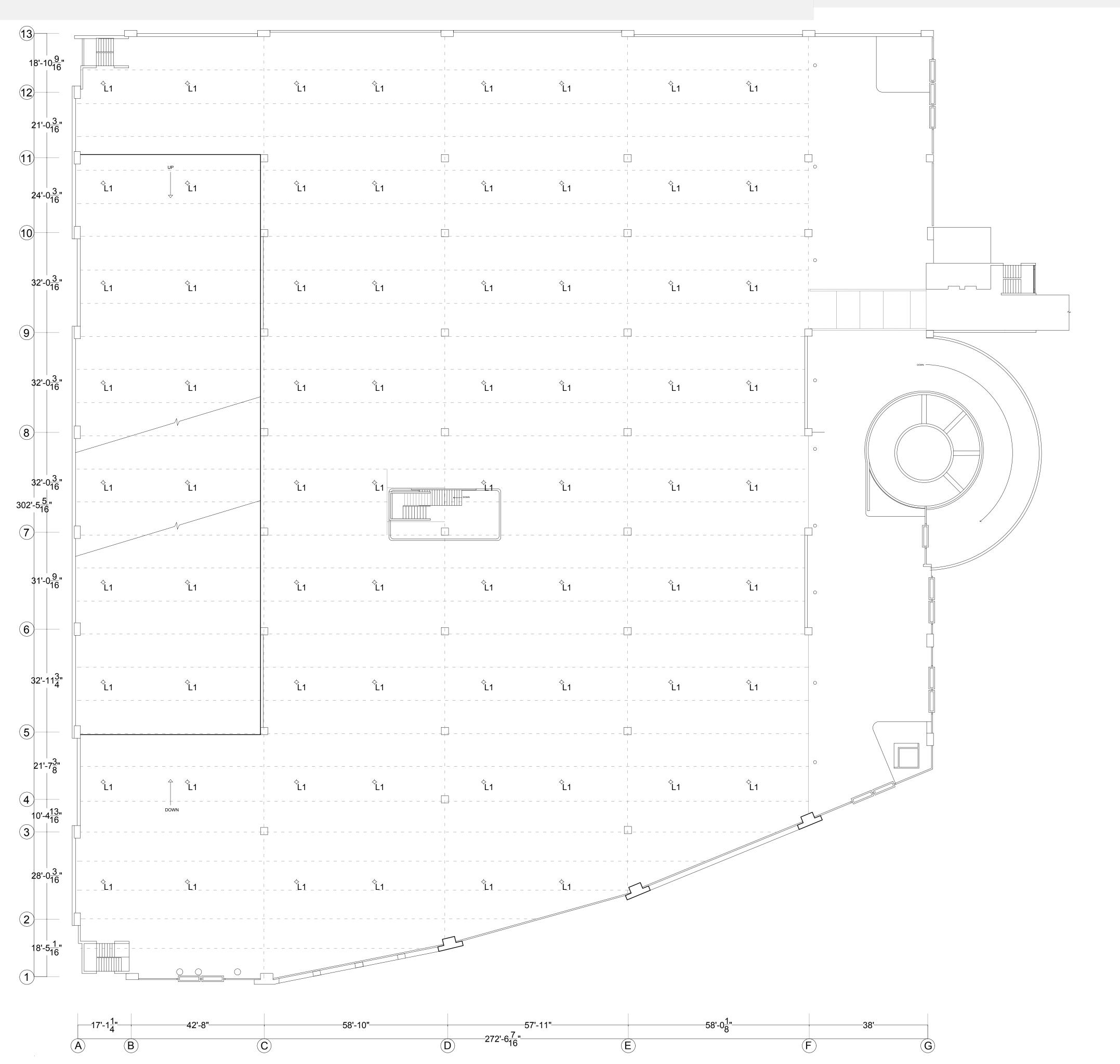


STRUCTURAL RECOMMENDATIONS-THIRD

DRAWING NO.

A-103

THIRD LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



EXISTING LIGHTING-THIRD LEVEL

SCALE NTS

LEGEND

TYPE CONDITION QTY DESCRIPTION

EXISTING LIGHTING

70

EXISTING LIGHTING

GENERAL NOTES

1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.

2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.

3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.

4.OUTDOOR SPOTLIGHT IP-66.

5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

063-031-639-02

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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C O M M I S S I O N

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SIGNATURE



FILE

Dwg Name: NIVEL 3.du

Drawn by: INGENIUM PROFESSIONAL GROUP,PSC
Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

Progress Print:

Sep 16, 2024

TITLE

EXISTING LIGHTING-THIRD LEVEL

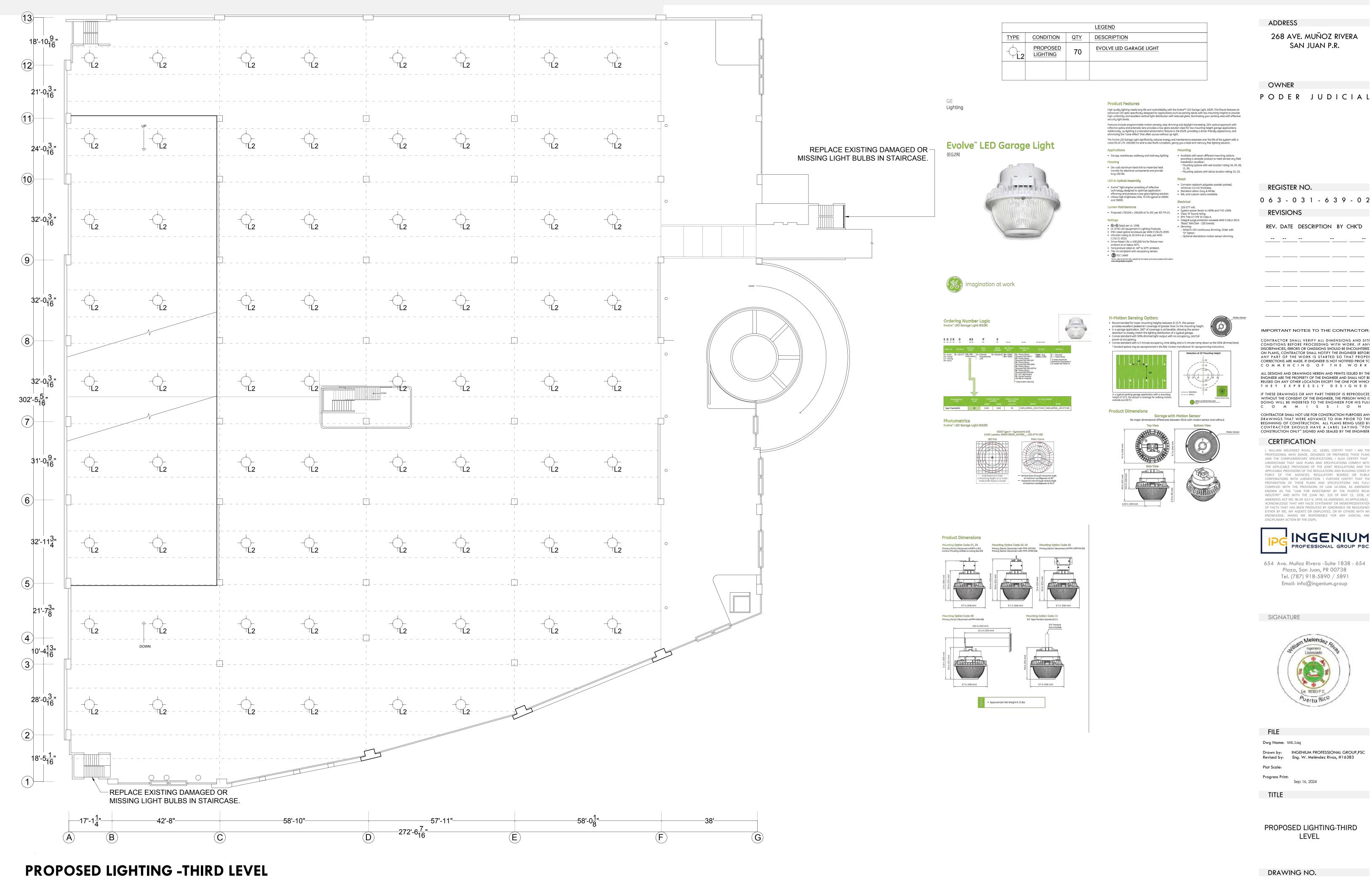
DRAWING NO.

E-104

± 12/3

PAGE:

THIRD LEVEL PROPOSED LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT

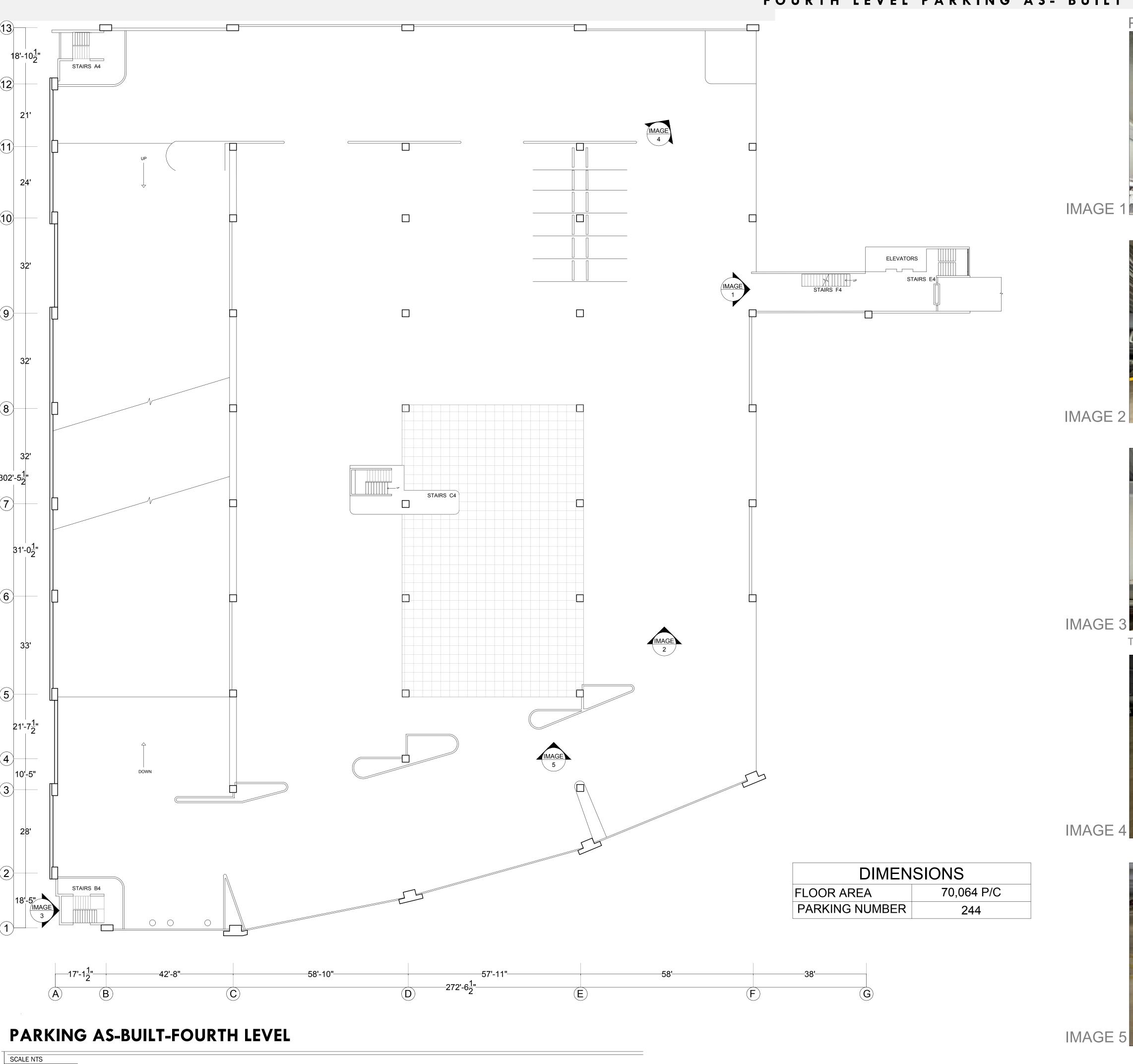


SCALE NTS

PAGE:

E-105

13/30





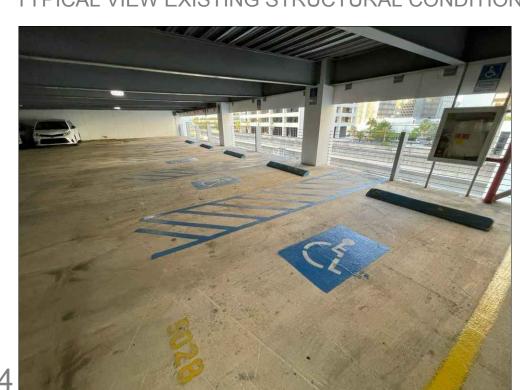
DAMAGE BEAM AND CORRODED MEMBERS



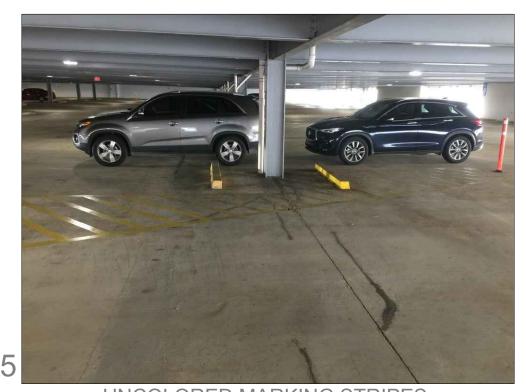
EXISTING LIGHTING



TYPICAL VIEW EXISTING STRUCTURAL CONDITIONS



TYPICAL ADA LAYOUT



UNCOLORED MARKING STRIPES

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNE

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO C O M M E N C I N G O F T H E W O R K.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEYEVER YOR SLYDESIGNED.

IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL C O M M I S S I O N .

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS OF PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



654 Ave. Muñoz Rivera -Suite 1838 - 654 Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891 Email: info@ingenium.group

SIGNATURE



FILE

Drawn by: INGENIUM PROFESSIONAL GROUP,PSC Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

ress Print:

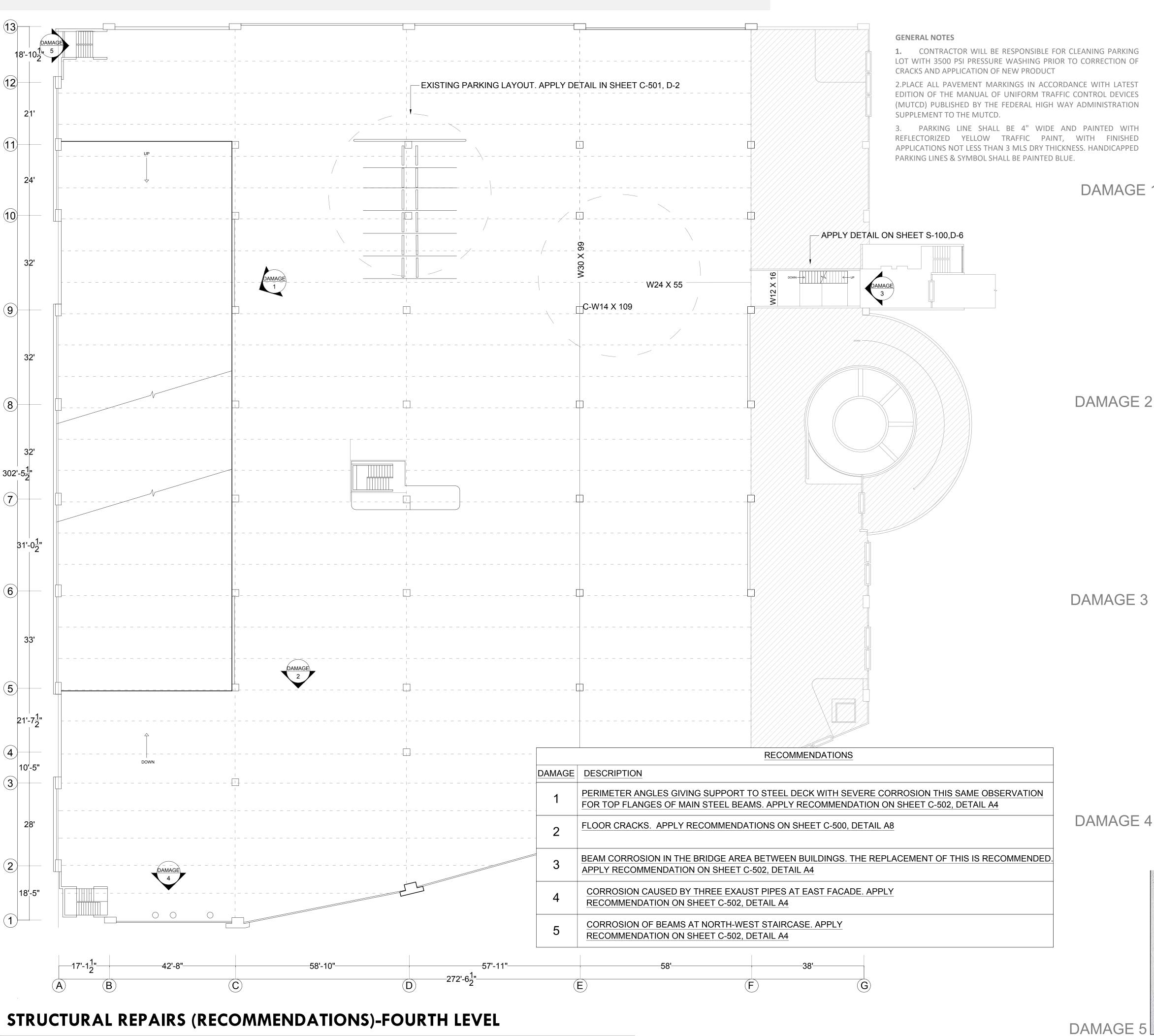
TITLE

PARKING AS- BUILT-FOURTH LEVEL

DRAWING NO. C-103

0 100

FOURTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



SCALE NTS

PHOTO DOCUMENTATION

1. CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF

EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION

3. PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED





PERIMETER ANGLES GIVING SUPPORT TO STEEL DECK WITH SEVERE CORROSION. THIS SAME OBSERVATION FOR TOP FLANGES OF MAIN STEEL BEAMS





FLOOR CRACKS

BEAM CORROSION, IN THE BRIDGE AREA BETWEEN BUILDINGS,

THE REPLACEMENT OF THESE IS RECOMMENDED.





CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE

CORROSION OF BEAMS OF STAIR AT SOUTH-WEST STAIR

ADDRESS

268 AVE. MUÑOZ RIVERA

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REV. DATE DESCRIPTION BY CHK'D

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SIGNATURE



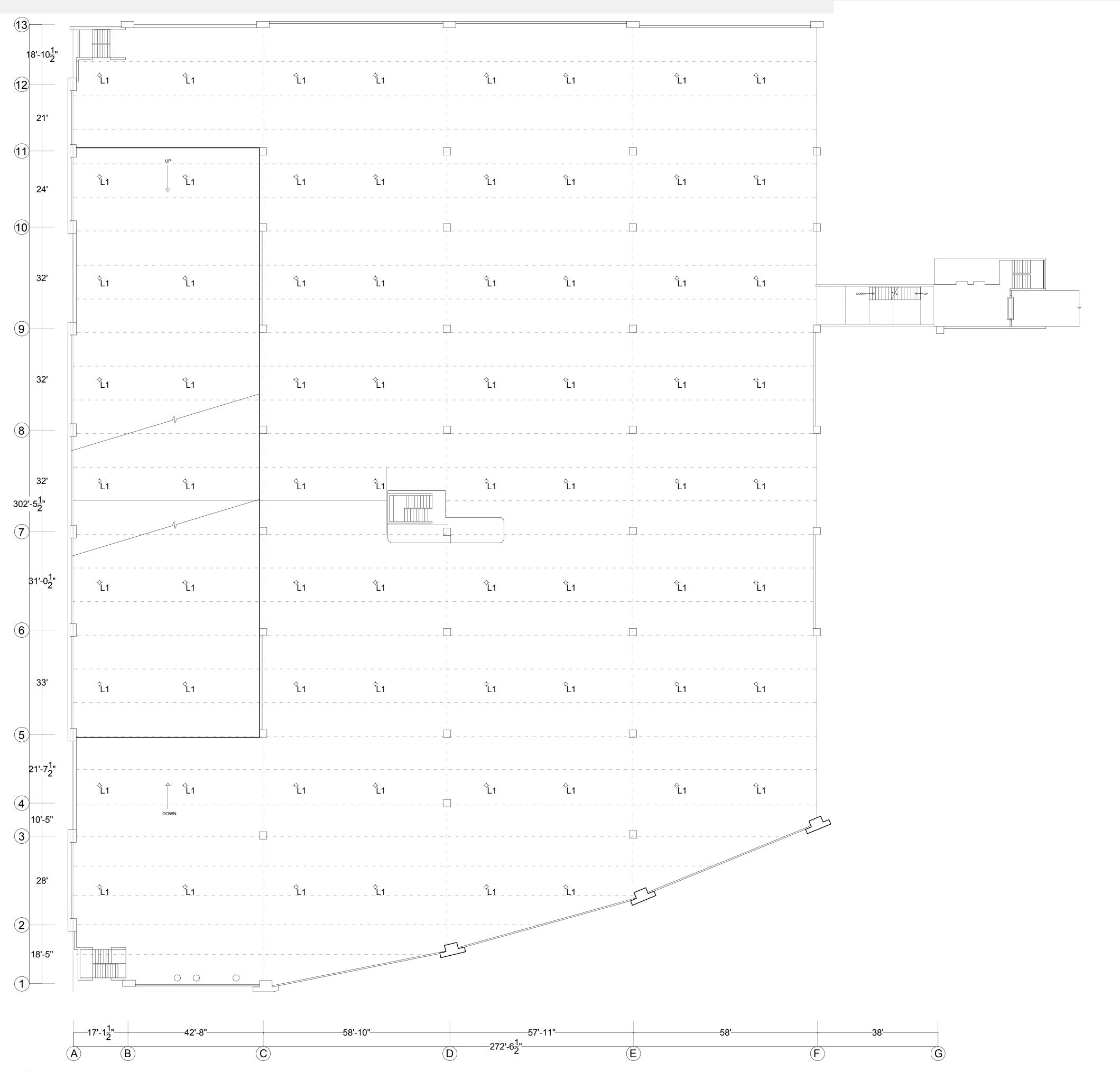
STRUCTURAL RECOMMENDATIONS-FOURTH

DRAWING NO.

LEVEL

A-103

FOURTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



EXISTING LIGHTING-FOURTH LEVEL

SCALE NTS

TYPE CONDITION QTY DESCRIPTION CONDITION QTY DESCRIPTION CONDITION QTY DESCRIPTION EXISTING LIGHTING

GENERAL NOTES

1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.

2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.

3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.

4.OUTDOOR SPOTLIGHT IP-66.

5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

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SIGNATURE



FILE

Orawn by: INGENIUM Prevised by: Eng. W. Me

t Scale:

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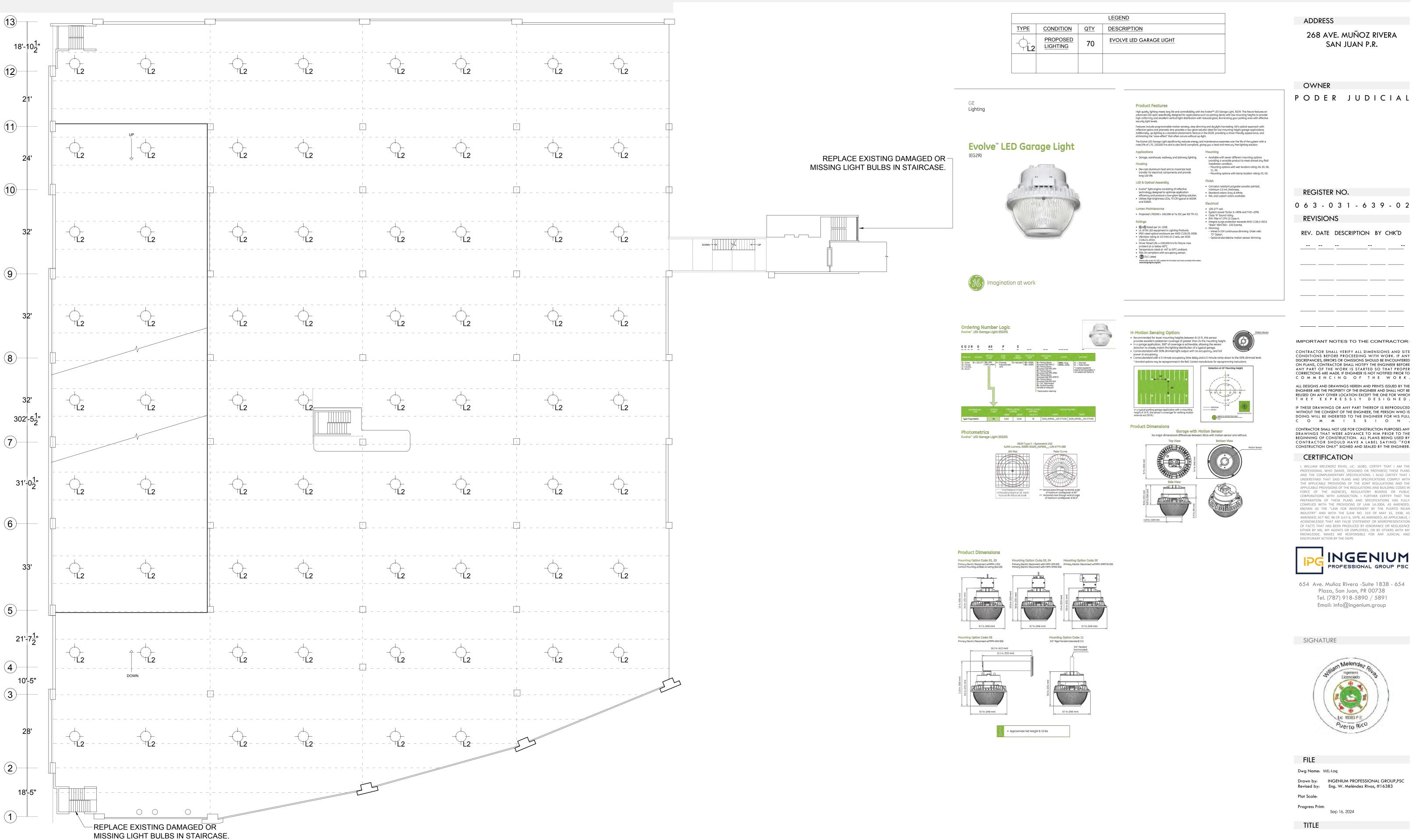
EXISTING LIGHTING-FOURTH LEVEL

DRAWING NO.

E-106

PAGE: 16/30

FOURTH LEVEL PROPOSED LIGHTING AND RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT

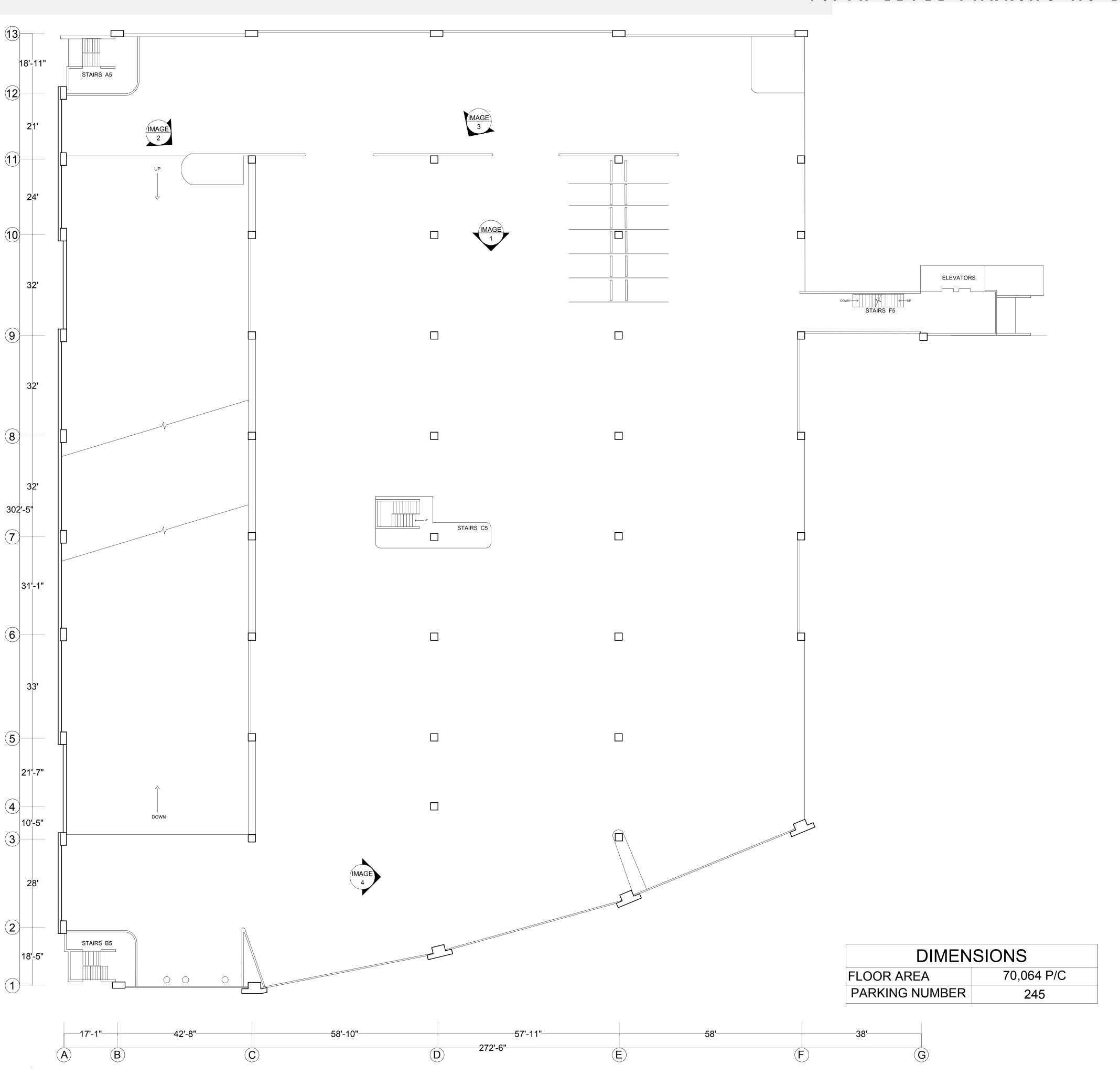


PROPOSED LIGHTING -FOURTH LEVEL

E-107

DRAWING NO.

PROPOSED LIGHTING -FOURTH LEVEL



PARKING AS-BUILT-FIFTH LEVEL

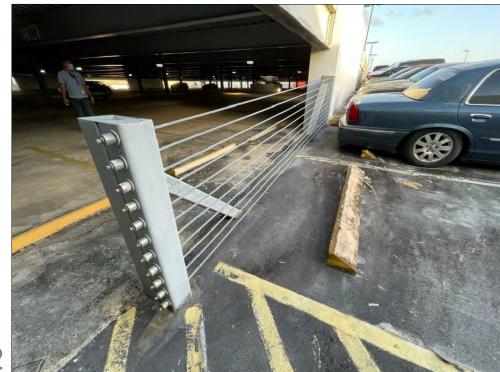
SCALE NTS

PHOTO DOCUMENTATION

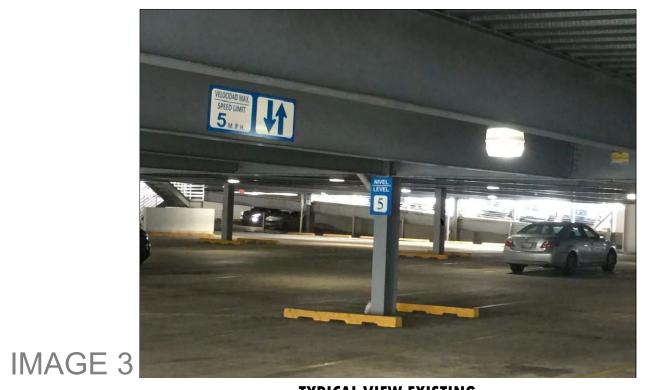


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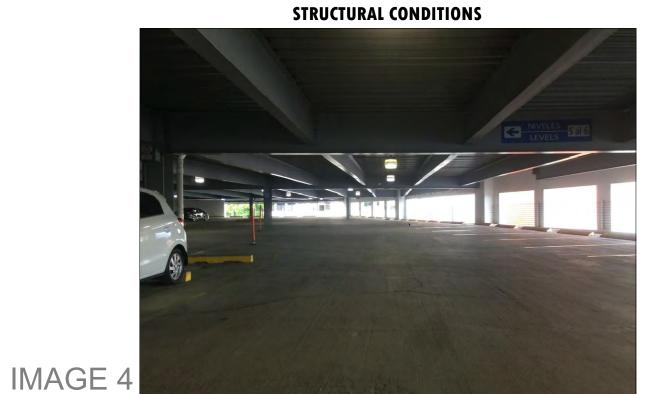
EXISTING LIGHTING CONDITION



METAL POST AND CABLE BARRIER



TYPICAL VIEW EXISTING



TYPICAL PARKING AREA

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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SIGNATURE



FILE

Dwg Name: NIVEL 5.dwg

Drawn by: INGENIUM PROFESSIONAL GROUP,PSC
Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

Progress Print:

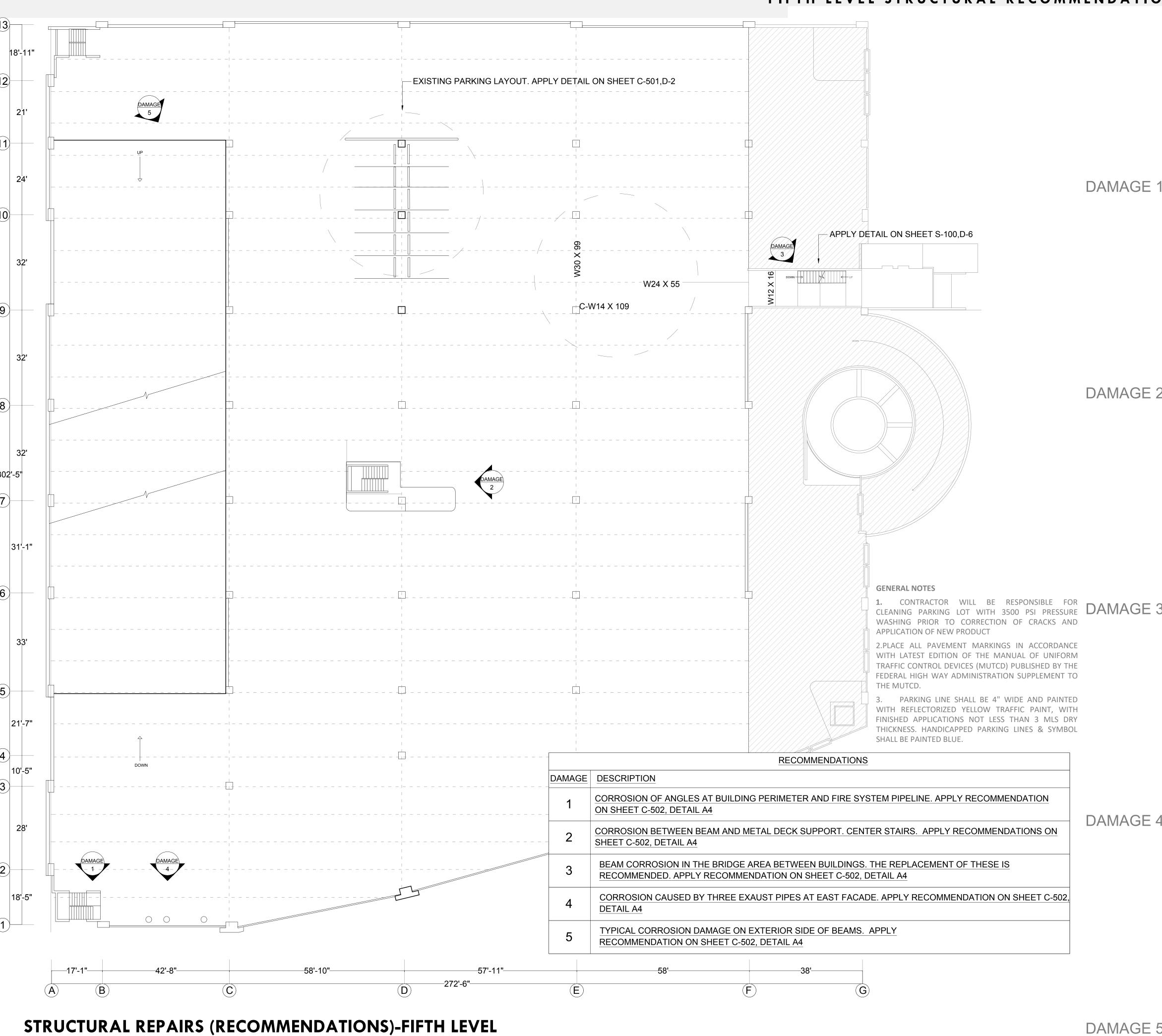
Sep 16, 20

PARKING AS-BUILT-FIFTH LEVEL

DRAWING NO.
C-104

PAGE: 18/30

FIFTH LEVEL STRUCTURAL RECOMMENDATIONS - WORLD PLAZA PARKING LOT IMPROVEMENT



SCALE NTS

CORROSION OF ANGLES AT BUILDING PERIMETER AND FIRE SYSTEM PIPE LINE.



CORROSION BETWEEN BEAM AND METAL DECK SUPPORT



BEAM CORROSION, IN THE BRIDGE AREA BETWEEN BUILDINGS, THE REPLACEMENT OF THESE IS RECOMMENDED.



TOP



TYPICAL CORROSION DAMAGE ON EXTERIOR SIDE OF BEAMS.

CORROSION CAUSED BY THREE EXHAUST PIPES AT EAST FACADE

ADDRESS

268 AVE. MUÑOZ RIVERA
SAN JUAN P.R.

∩W/NFP

PODER JUDICIAL

REGISTER NO.

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REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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SIGNATURE



FILE Dwg Name

Dwg Name: NIVEL 5.dwg

Drawn by: INGENIUM PROFESSIONAL GI
Revised by: Eng. W. Meléndez Rivas, #16

Plot Scale:

Sep 16, 20

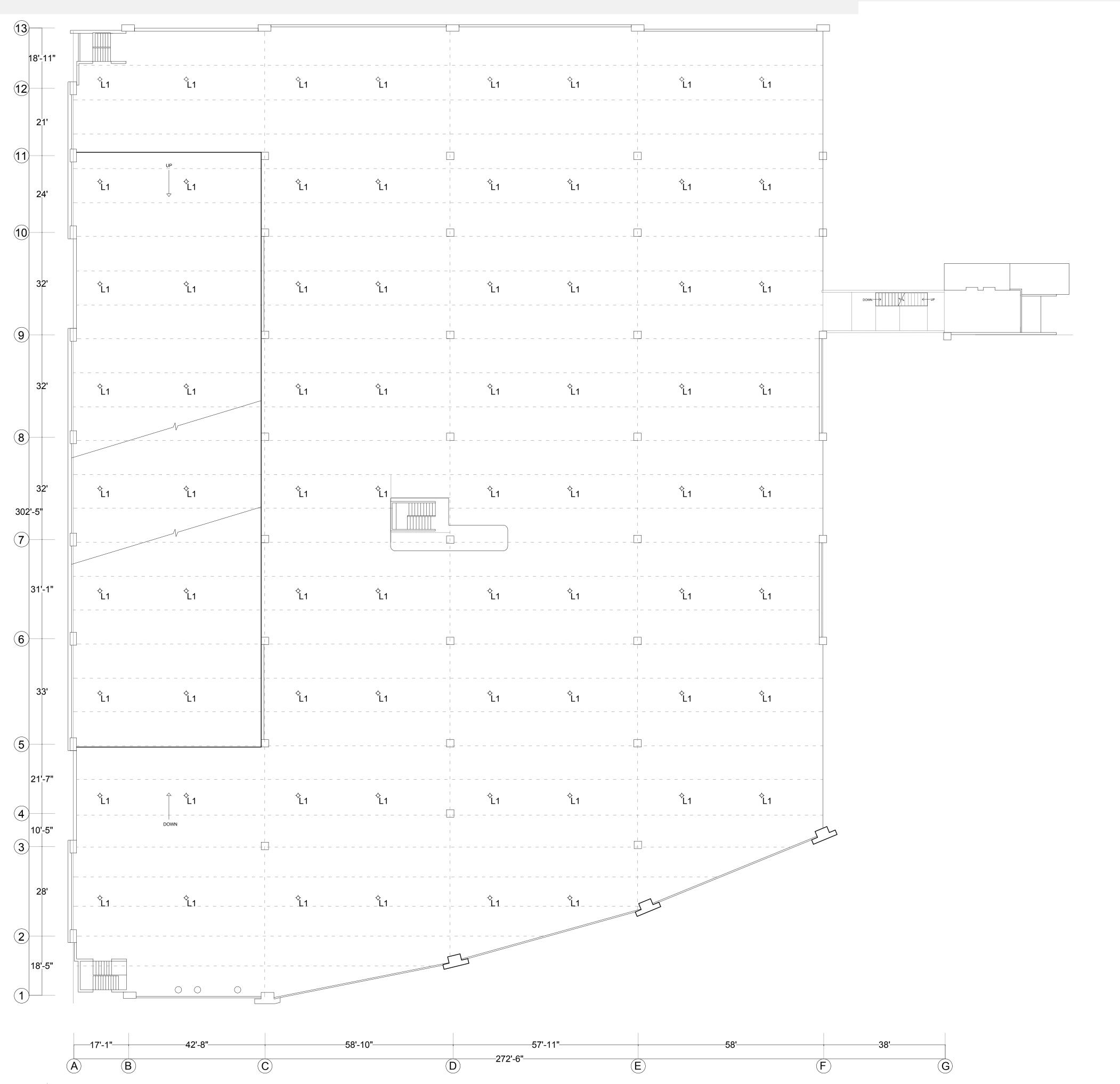
TITLE

STRUCTURAL RECOMMENDATIONS-FIFTH LEVEL

DRAWING NO.
A-104

PAGE: 19/30

FIFTH LEVEL EXISTING LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT



EXISTING LIGHTING-FIFTH LEVEL

SCALE NTS

LEGEND TYPE CONDITION QTY DESCRIPTION L1 EXISTING LIGHTING TO EXISTING LIGHTING

GENERAL NOTES

1.LIGHTING REPLACEMENT WORK INCLUDES THE REMOVAL AND DISPOSAL OF EXISTING LIGHTS.

2.THE INTERIOR LIGHTING WILL BE REPLACED BY LAMPS OF THE LED SYSTEM, WITH DIMENSIONS OF 2'X4' AND 4 TUBES WITH "ELECTRONIC BALLAST" AND USE A PRODUCT EQUAL OR SIMILAR TO LITHONIA LIGHTING, "WRAP AROUND" 2'X4'.

3.IT MUST BE VERIFIED THAT THE PHOTOCELLS ARE WORKING CORRECTLY. THE INSTALLATION OF PHOTOCELLS MUST BE PROVIDED IN ALL CORRIDOR LAMPS.

4.OUTDOOR SPOTLIGHT IP-66.

5.THE DIAGRAM OF THE CIRCUITS, LOCATION OF SWITCHES AS WELL AS THE LOCATION OF THE PROPOSED LAMPS INDICATED ON THE PLANS IS MERELY DIAGRAMICAL AND APPROXIMATE. THE EXACT LOCATION OF THE PIPING AND OTHER ELECTRICAL INSTALLATIONS WILL BE SUBJECT TO THE STRUCTURAL AND CONSTRUCTION CONDITIONS, THEY WILL BE CONNECTED TO THE MAIN BOARD. CONTRACTOR SHOULD SUBMIT SHOP DRAWINGS OF ELECTRICAL CONNECTIONS TO DESIGNER FOR APPROVAL PREVIOUSLY RECOMMENDED BY AN ELECTRICIAN.

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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Email: info@ingenium.group

SIGNATURE



FILE

Drawn by: INGENIUM PROFESSIONAL GROUP,PSC Revised by: Eng. W. Meléndez Rivas, #16383

Plot Scale:

ress Print: Sep 16, 2024

TITLE

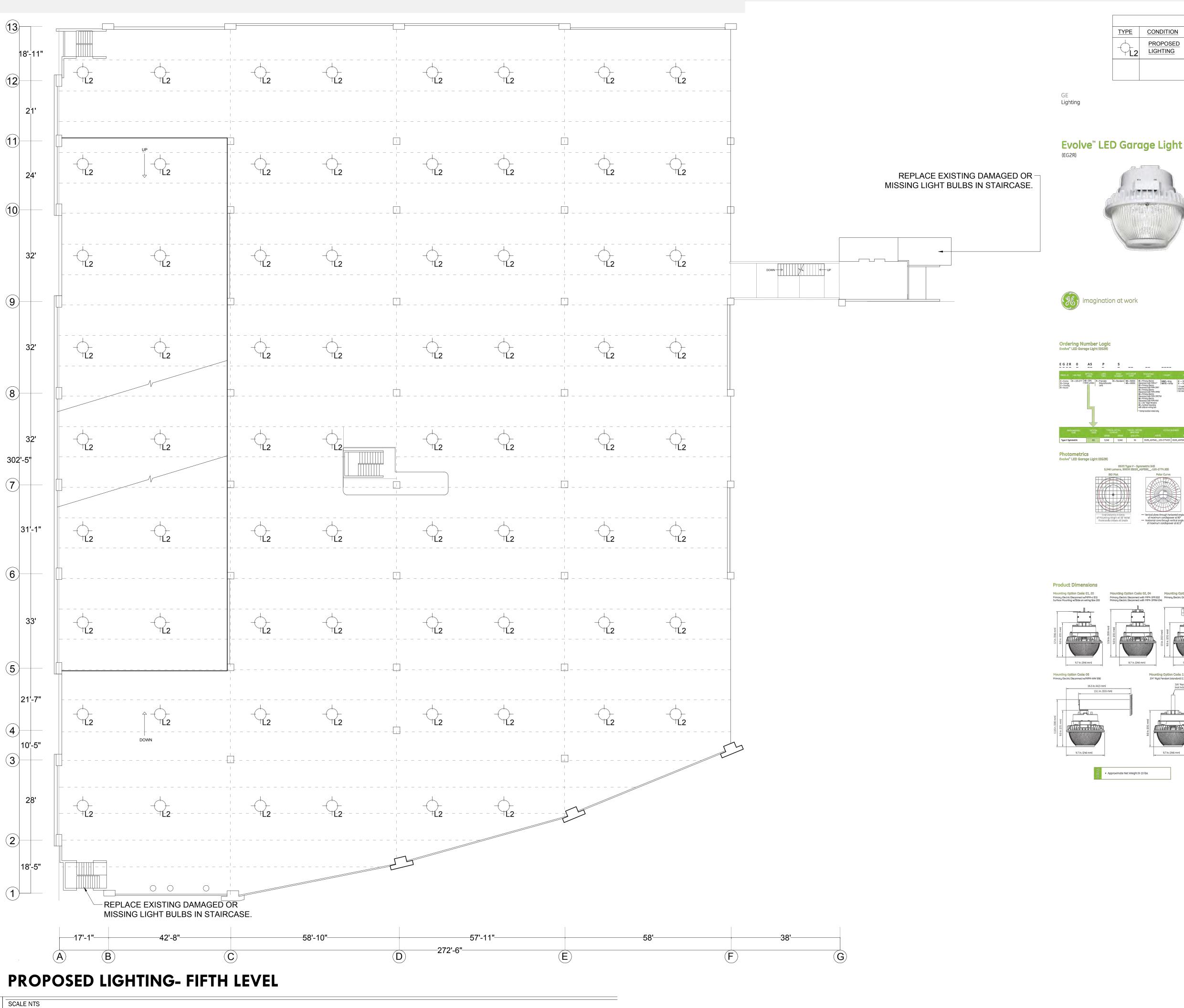
EXISTING LIGHTING-FIFTH LEVEL

DRAWING NO.

E-108

PAGE: 20/30

FIFTH LEVEL PROPOSED LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT



TYPE CONDITION QTY DESCRIPTION LIGHTING

 Garage, warehouse, walkway and stairway lighting.
 Available with seven different mounting options providing a versatile product to meet almost any field installation condition.

- Mounting options with wet location rating: 04, 05, 06,

Lumen Maintenance

Projected L70(10K) > 100,000 at Ta 25C per IES TM-21.

REV. DATE DESCRIPTION BY CHK'D

ADDRESS

OWNER

REGISTER NO.

REVISIONS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

PODER JUDICIAL

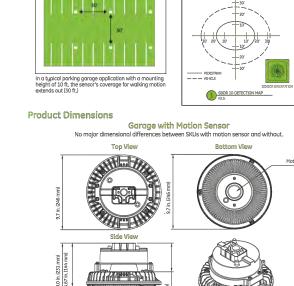
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Product Dimensions Approximate Net Weight 8-10 lbs

EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.

APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN

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SIGNATURE



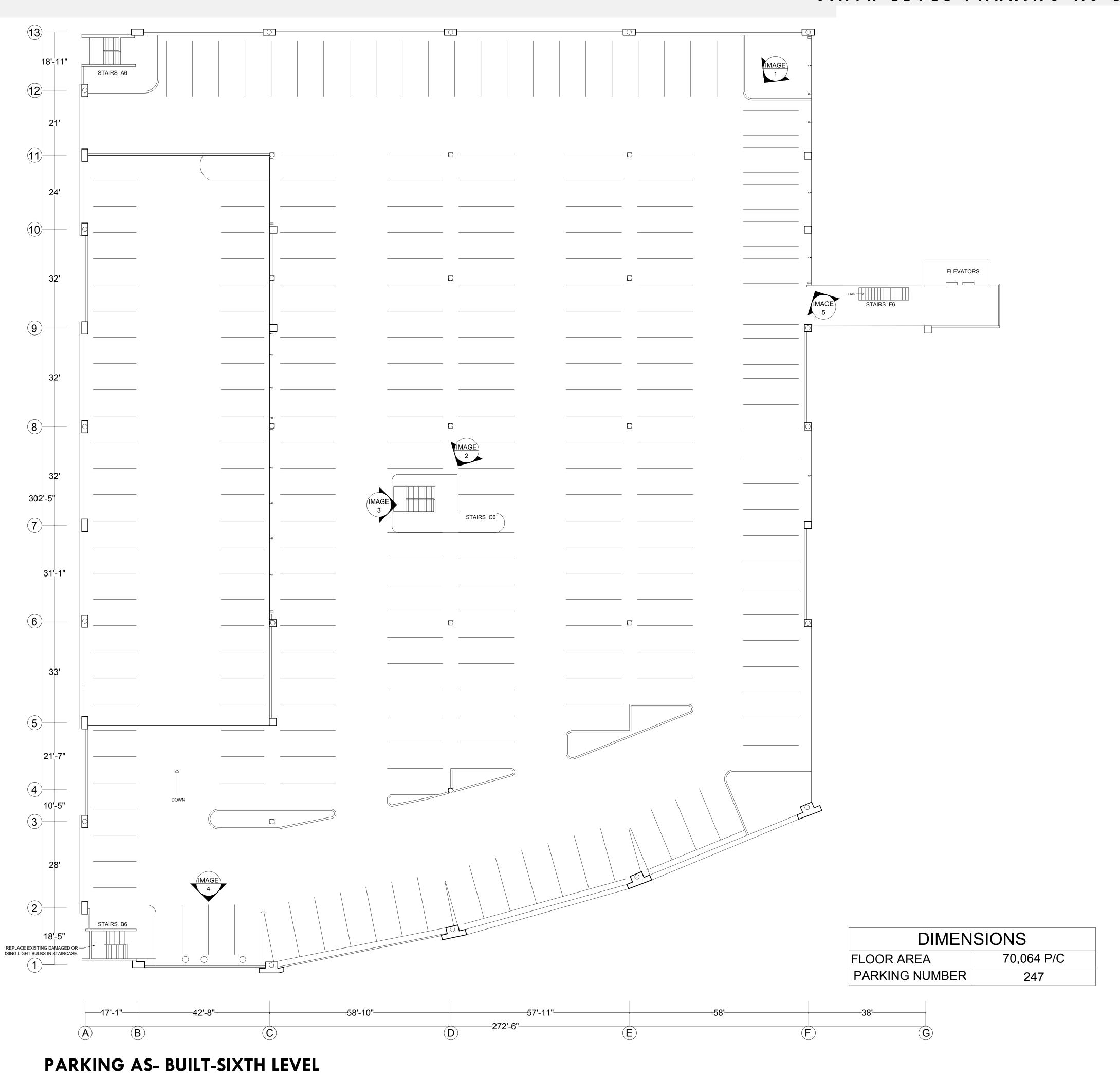
Revised by: Eng. W. Meléndez Rivas, #16383

PROPOSED LIGHTING-FIFTH LEVEL

> DRAWING NO. E-109

PAGE: 21/30

SIXTH LEVEL PARKING AS-BUILT - WORLD PLAZA PARKING LOT IMPROVEMENT



SCALE NTS

PHOTO DOCUMENTATION



SIXTH FLOOR GENERAL VIEW



CENTRAL ACCESS STAIRS LEVEL 6 PROPOSED EXTENTION OF UPPER ROOF

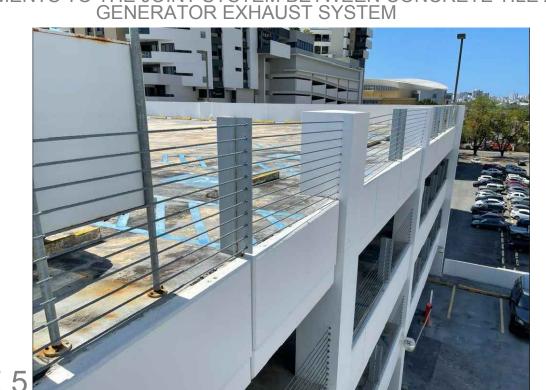


IMAGE 3

CORRODED STEEL ELEMENT



MPROVEMENTS TO THE JOINT SYSTEM BETWEEN CONCRETE TILE AND THE



FLASHING INSTALATION RECOMENDED

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNE

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

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IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMM MISSION.

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CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE PROVISIONS OF THE JOINT REGULATIONS AND THE APPLICABLE PROVISIONS OF THE REGULATIONS AND BUILDING CODES IN FORCE OF THE AGENCIES, REGULATORY BOARDS OR PUBLIC CORPORATIONS WITH JURISDICTION. I FURTHER CERTIFY THAT THE PREPARATION OF THESE PLANS AND SPECIFICATIONS HAS FULLY COMPLIED WITH THE PROVISIONS OF LAW 14-2004, AS AMENDED, KNOWN AS THE "LAW FOR INVESTMENT BY THE PUERTO RICAN INDUSTRY" AND WITH THE [LAW NO. 319 OF MAY 15, 1938, AS AMENDED; ACT NO. 96 OF JULY 6, 1978, AS AMENDED; AS APPLICABLE]. I ACKNOWLEDGE THAT ANY FALSE STATEMENT OR MISREPRESENTATION OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



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FILE

Dwg Name: NIVEL 6.dwg

Drawn by: INGENIUM PROFESSIONAL GROUP
Revised by: Eng. W. Meléndez Rivas, #16383

Scale:

Sep 10

PARKING AS-BUILT-SIXTH LEVEL

DRAWING NO. C-105

GENERAL NOTES STAIRS A6 1. CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING PARKING LOT WITH 3500 PSI PRESSURE WASHING PRIOR TO CORRECTION OF CRACKS AND APPLICATION OF NEW PRODUCT 2.PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH LATEST EXISTING PARKING LAYOUT. APPLY DETAIL IN SHEET C-501, D-2 — EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGH WAY ADMINISTRATION SUPPLEMENT TO THE MUTCD. PARKING LINE SHALL BE 4" WIDE AND PAINTED WITH REFLECTORIZED YELLOW TRAFFIC PAINT, WITH FINISHED APPLICATIONS NOT LESS THAN 3 MLS DRY THICKNESS. HANDICAPPED PARKING LINES & SYMBOL SHALL BE PAINTED BLUE. - APPLY DETAIL ON SHEET S-100,D-6 **ELEVATORS** A-1 \A-106/ 302'-5" STAIRS C6 21'-7" WATER POUNDING DAMAGE 3 2 DIMENSIONS 70,064 P/C FLOOR AREA PARKING NUMBER 247 -57'-11"---272'-6" STRUCTURAL REPAIRS (RECOMMENDATIONS)-SIXTH LEVEL SCALE NTS

PHOTO DOCUMENTATION



DAMAGE





FLOOR CRACKS

DAMAGE 2



CORROSION CAUSED BY THREE EXHAUST

PIPES AT EAST FACADE

	RECOMMENDATIONS
DAMAGE	DESCRIPTION
1	WHEN OCCURES, APPLY RECOMMENDATION ON SHEET C-502, DETAIL A-1
2	WHEN OCCURES, APPLY RECOMMENDATION ON SHEET C-502, DETAIL A-4
3	WHEN OCCURES, APPLY RECOMMENDATION ON SHEET C-502, DETAIL A-5

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

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REVISIONS

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REV. DATE DESCRIPTION BY CHK'D

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Drawn by: INGENIUM PROFESSIONAL GROUP,PSC Eng. W. Meléndez Rivas, #16383

STRUCTURAL RECOMMENDATION-SIXTH LEVEL

DRAWING NO. A-105

PAGE: 23/30

ADDRESS 268 AVE. MUÑOZ RIVERA **PLAN VIEW** PODER JUDICIAL EXISTING POLYCARBONATED ARCHED ROOF FIXED METAL LOUVRES-_PROPOSED POLYCARBONATED ROOF TO BE REMOVED AND DISCARDED AREA: 192 SQFT 1/2" SEE DETAIL 3 IN THIS SHEET A-106 1/4" REGISTER NO. 1/2"-0 6 3 - 0 3 1 - 6 3 9 - 0 2 REVISIONS POLYCARBONATE METAL FRAMING REV. DATE DESCRIPTION BY CHK'D POLYCARBONATE-METAL SCREW DETAIL 1 2'-2"/ POLYCARBONATE METAL FRAMING FIXED LOUVRE METAL FRAMING METAL FIXED LOUVRE **EXISTING EXTERIOR STAIRS** PROPOSAL PLAN VIEW DETAIL 1 IMPORTANT NOTES TO THE CONTRACTOR: SCALE NTS SCALE $\frac{1}{4}$ "=1'-0" SCALE ¹/₄"=1'-0" CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE ANY PART OF THE WORK IS STARTED SO THAT PROPER CORRECTIONS ARE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO C O M M E N C I N G O F T H E W O R K . PROPOSED POLYCARBONATED ROOF 5% ROOF INCLINATION ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ENGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT THE ONE FOR WHICH THEYER PRESSLY DESIGNED. _PROPOSED POLYCARBONATED ENCLOSURE 2" METAL FRAMING WITH ADJUSTED SIZE WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL COMMISSION CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR EXISTING WALL TO CONSERVE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE. **ELEVATION 2** SCALE: $\frac{1}{4}$ " = 1'-0" IMAGE 2 **IMAGE 1** 654 Ave. Muñoz Rivera -Suite 1838 - 654 Plaza, San Juan, PR 00738 -METAL SCREW POLYCARBONATE METAL FRAMING —POLYCARBONATE DETAIL 2 PROPOSED POLYCARBONATED ROOF 5% ROOF INCLINATION METAL FIXED LOUVRES SIGNATURE EXISTING WALL TO CONSERVE -1815'-11 15/16"--DETAIL 2: METAL FIXED LOUVRES **ELEVATION 2** DETAIL 3 SCALE NTS SCALE: ¹/₄"=1'-0" SCALE NTS

> **IMPORTAT NOTE: THE DRAWINGS PRESENTED ON THIS** SHEET ARE SCHEMATIC. CONTRACTOR SHALL SUBMIT DRAWINGS OF THE 6TH LEVEL CEILING DESIGN TO THE DESIGNER SHOP FOR FINAL APPROVAL.

EXISTING CONDITIONS AND PHOTODOCUMENTATION

IMAGE 3

SCALE NTS

PROPOSED POLYCARBONATE ROOF

SCALE NTS

DRAWING NO. A-106

PAGE: 24/30

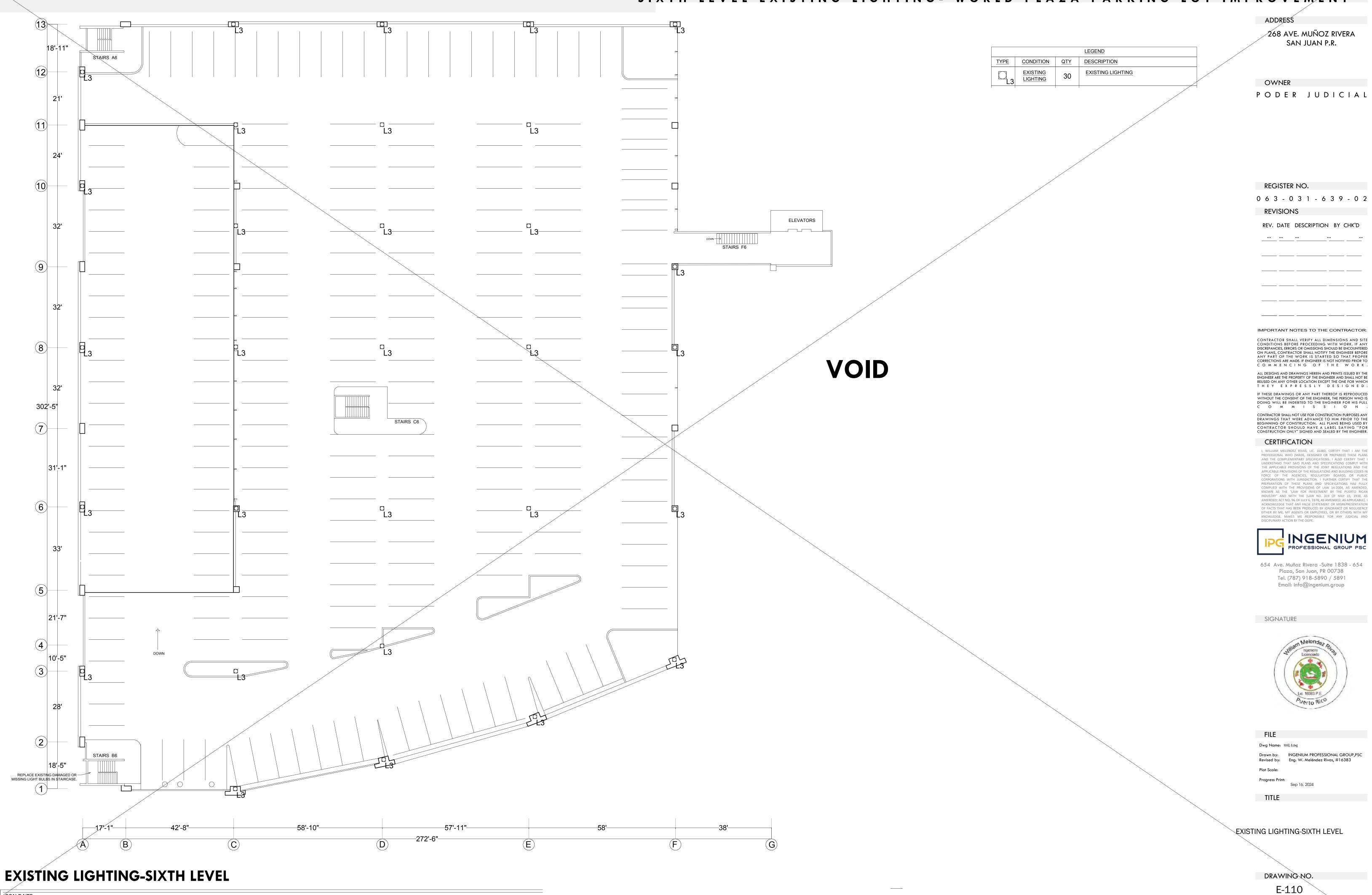
C6 EXTERIOR STAIR PROPOSAL-SIXTH LEVEL

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INGENIUM PROFESSIONAL GROUP, PSC

SAN JUAN P.R.

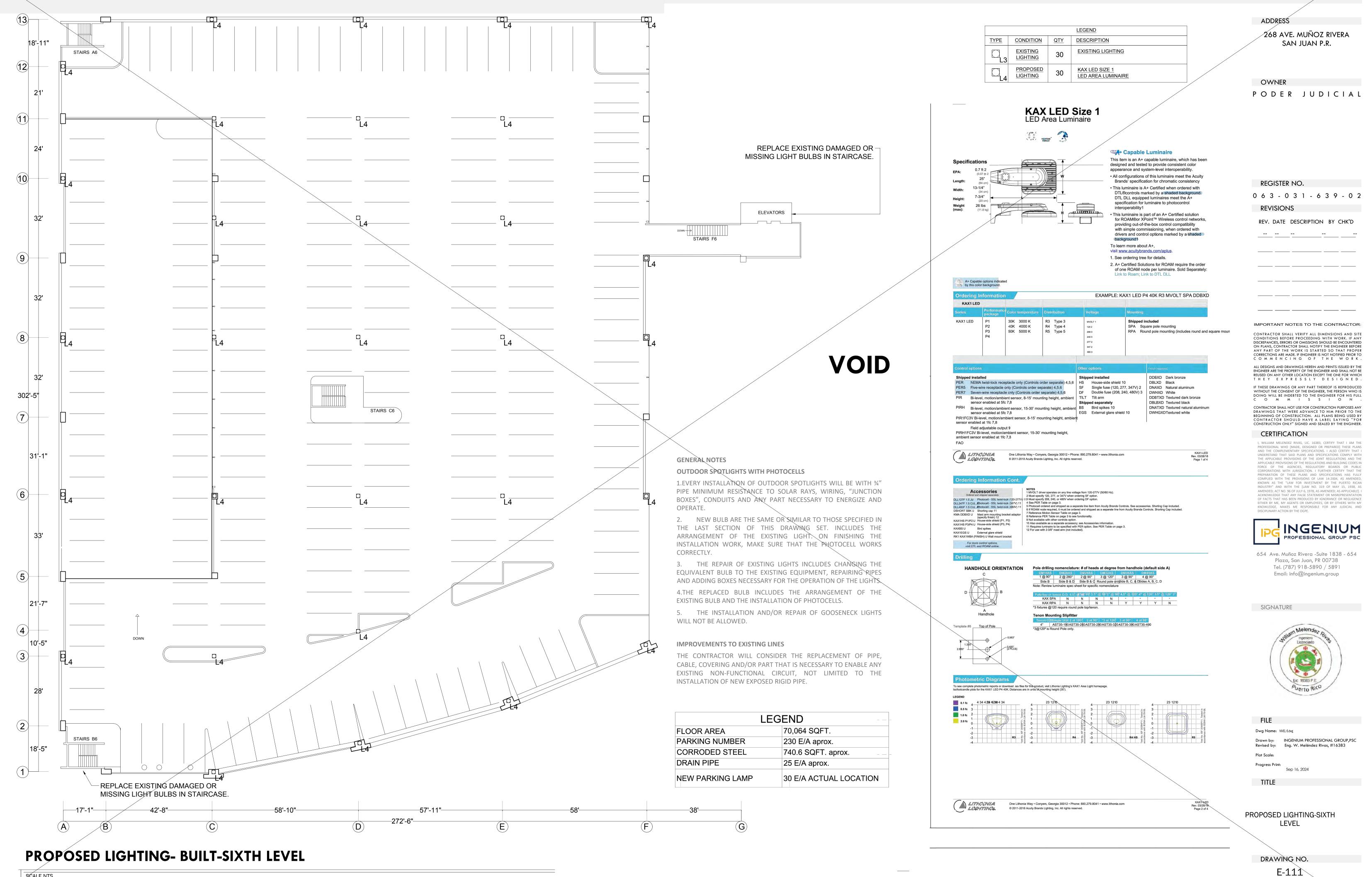
SIXTH LEVEL EXISTING LIGHTING- WORLD PLAZA PARKING LOT IMPROVEMENT



SCALE NTS

PAGE: 25/30

SIXTH LEVEL PROPOSED LIGHTING - WORLD PLAZA PARKING LOT IMPROVEMENT

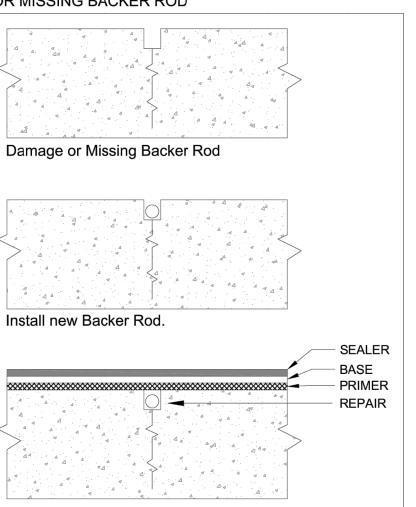


SCALE NTS

26/30 PAGE:

REPAIR PROCEDURE FOR DAMAGE OR MISSING BACKER ROD

Applied Elastomeric Sealant



METHODS FOR CRACK REPAIR AND FLUID – APPLIED VEHICULAR TRAFFIC AND WATERPROFF COATING SYSTEMS

ASTM C 801 Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete ASTM D 920 Standard Specification for Elastomeric Joint Sealants

ACI 224 Joints in Concrete Construction ACI 503 R Use of Epoxy Compounds with concrete

1)Epoxy injection

Cracks as narrow as 0.002 in. can be bonded by the injection of epoxy ("Crack Repair Method). The technique consists of establishing entry and venting ports at close intervals along the cracks, sealing the crack on exposed surfaces, and injecting the low-density epoxy under pressure. Epoxy materials used for structural repairs should conform to ASTM C 881 (Type IV). ACI 504R describes practices for sealing joints, including joint design, available materials, and methods of application. **YSTEMS**

• Cleaning the cracks. Clean any cracks that have been contaminated. Contaminants, such as oil, grease, dirt, or fine particles of concrete, prevent epoxy penetration and bonding, and reduce the effectiveness of repairs. Preferably, contamination should be removed by vacuuming or flushing with water or other effective cleaning solutions. Flushed out using compressed air and a neutralizing agent or adequate time is provided for air drying.

Sealing the surfaces. Surface cracks should be sealed to keep the epoxy from leaking out before it has gelled. Where the crack face cannot be reached, but where there is backfill or where a slab-on-ground is being repaired, the backfill material or subbase material is sometimes an adequate seal. Extreme caution should be exercised when injecting cracks that are not visible on all surfaces. A surface can be sealed by applying an epoxy, polyester, or other appropriate sealing material to the surface of the crack and allowing it to harden. If a permanent glossy appearance along the crack is objectionable and if high injection pressure is not required, a strippable plastic surface sealer may be applied along the face of the crack.

Mixing the epoxy. Follow the manufacturer instruction. Mixing is done by batch or continuous methods. In batch mixing, the adhesive components are premixed according to the manufacturer's instructions, usually with the use of a mechanical stirrer, like a paintmixing paddle. Care should be taken to mix only the amount of adhesive that can be used before commencement of gelling of the material. When the adhesive material begins to gel, its flow characteristics begin to change, and pressure injection becomes more and more difficult. In the continuous mixing system, the two liquid adhesive components pass through metering and driving pumps before passing through an automatic mixing head.

Routing and Sealing

Routing and sealing Routing and sealing of cracks can be used in conditions requiring repair where structural repair is not necessary. This method involves enlarging the crack along its exposed face and filling and sealing it with a suitable joint sealant. Routing and sealing can be accomplished on vertical surfaces (with a non-sag sealant) as well as on curved surfaces (pipes, piles, and poles). Routing and sealing are used to treat both narrow and wide cracks. A common and effective use is for waterproofing by sealing cracks on the concrete surface where water stands or where hydrostatic pressure is applied. This treatment reduces the ability of moisture to reach the reinforcing steel or pass through the concrete, causing surface stains or other problems. The sealants may be any of several materials, including epoxies, urethanes, silicones, polysulfides, asphaltic materials, or polymer mortars. Cement grouts should be avoided due to the likelihood of cracking. The sealant should be sufficiently rigid to support the anticipated traffic. Routing and sealing consist of preparing a vertical walled groove at the surface typically ranging in depth from 1/4 to 1 in. A concrete saw or right-angle grinder may be used. The groove is then cleaned by air blasting, sandblasting, or water blasting, and dried. A sealant is placed into the dry groove and allowed to cure. A variation of this procedure is to provide load transfer by having epoxy fill or partially fill the crack by gravity. The vertical-walled groove is used as a reservoir for epoxy that is selected for an appropriate viscosity. The final step is to fill the vertical-walled groove with a high-viscosity, rigid epoxy. Active cracks should be repaired using a bond breaker at the base of the routed channel. A flexible sealant is then placed in the routed channel. It is important that the width-to-depth ratio of the channel is usually 2 or more. This permits the sealant to respond to movement of the crack with high extensibility. In some cases, over banding (backer rod) is used independently of or in conjunction with routing and sealing. This method is used to enhance protection from edge spalling and, for aesthetic reasons, to create a more uniform-appearing treatment. A typical procedure for over banding is to prepare an area approximately 1 to 3 in. (25 to 75 mm) on each side of the crack by sandblasting or other means of surface preparation and applying a coating (such as urethane) 0.04 to 0.08 in. (1 to 2 mm) thick in a band over the crack. Cracks subject to minimal movement may be over banded, but if significant movement can take place, routing and sealing should be used in conjunction with over banding to ensure a waterproof repair.

3) Gravity Filling

Gravity filling Low-viscosity epoxy, monomers and resins can be used to seal cracks with surface widths of 0.001 to 0.08 in. by gravity filling like High molecular-weight methacrylates, urethanes, and some low viscosity epoxy. The lower the viscosity, the finer the cracks that can be filled. The typical procedure is to clean the surface by air blasting, waterblasting, or both. Wet surfaces should be permitted to dry for several days to obtain the best crack filling. The material should be worked back and forth over the cracks to obtain maximum filling because the monomer or resin recedes slowly into the cracks. Excess material should be broomed off the surface to prevent slick, shining areas after curing. If the cracks contain significant amounts of silt, moisture, or other contaminants, the sealant cannot fill them take action with this. Water blasting followed by a drying time may be effective in cleaning and preparing these cracks.

4) Expansion Joint Backer Rod

• This method involves remove the existing expansion joint material along the mechanical routing, filling and sealing it with a suitable backer rod or any acceptable expansion joint substrate. Joint width to depth ratio should be 2 to 1 with a minimum depth of 1/4" or a maximum depth of 1". The diameter of the backer rod should be 1/8" larger than the width of the joint.

5) Fluid-applied vehicular traffic coating system per manufacturer recommendation.

PROCEDURES

PHOTO DOCUMENTATION



TYPICAL VIEW OF EXPANSION JOINT





TYPICAL VIEW PARKING AREA



DAMAGE TRAFFIC SEALER SYSTEM

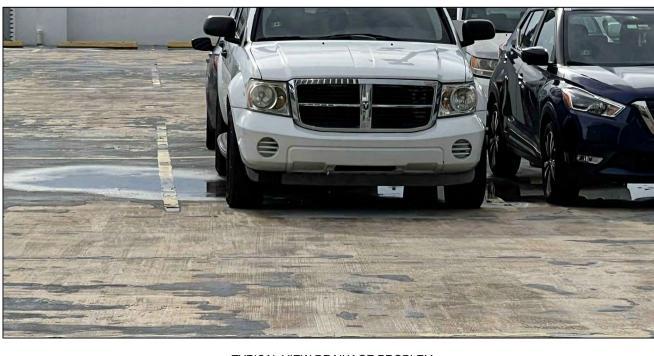


TYPICAL VIEW OF CRACKS

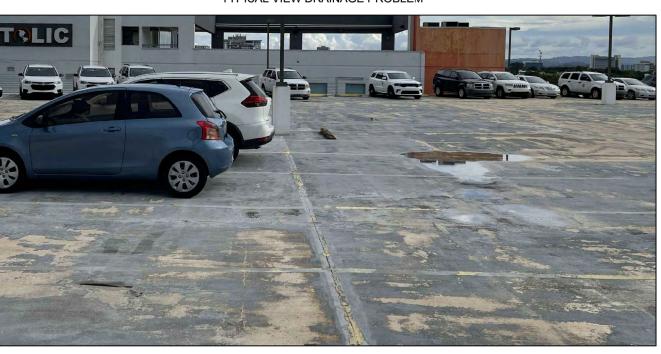
D-2



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM



TYPICAL VIEW DRAINAGE PROBLEM

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

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INGENIUM

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SIGNATURE



Dwg Name: NIVEL 6.dwg

TITLE

Drawn by: INGENIUM PROFESSIONAL GROUP, PSC Revised by: Eng. W. Meléndez Rivas, #16383

PROCEDURES

DRAWING NO.

C-500

D-1 CONCRETE CURB **VOID** (WHERE SHOWN ON PLANS) ---6'-3"-----_ PRE CAST CONCRETE WHEEL 4" WIDE PAINT STRIPE (PAINT TRAFFIC YELLOW) STANDARD PARKING FOR THE HANDICAPPED SYMBOL DETAIL NOT TO SCALE TYPICAL PARKING DETAIL

D-2 PAINT QUANTITY

	Oficina d	e Administraciór	n de los Tribunal	es (OAT)	
		Paint C	Quantity		
		PARKING LO	OT STRIPES		
AREA	PARKING SPACE	ADA PARKING SPACE	TOTAL SPACE	LINEAR FEET (4" STRIPE)	GALLONS QTY
First Level	154	3	157	7,536	30
Second Level	251	6	257	12,336	49
Third Level	256	5	261	12,528	50
Fourth Level	239	5	244	11,712	47
Fifth Level	240	5	245	11,760	47
Sixth Level	242	5	247	11,856	47
TOTAL	1382	29	1411	67,728	271

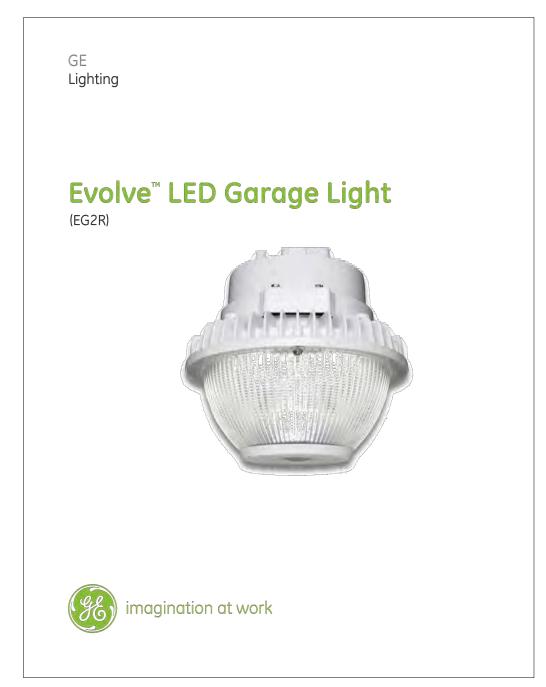
	WHEEL STOP	PER/BUMPERS	
AREA	PARKING SPACE	SQUARE FEET	GALLONS QTY
First Level	157	1178	22
Second Level	257	1928	36
Third Level	261	1958	36
Fourth Level	244	1830	34
Fifth Level	245	1838	34
Sixth Level	247	1853	34
TOTAL	1411	10583	196

OTHER MARKING AREAS ON ALL FLOORS (ADA SIGN, CURBS, DIAGONAL LINES, WALKWAYS PADS, ARROWS) AREA SQUARE FEET **GALLONS QTY** Ada Sign 11 Curbs/Islands 25 2500 Diagonal Lines 1450 15 Walkways Pads 1500 15 Transit direction 560 marks Arrows 850 9 **TOTAL** 7460 80

STEEL BEAM	1, GIRDERS AND	COLUMNS - 3rd,	4th, 5th AND 6th Le	EVELS ONLY	
AREA	BEAMS W30X99	GIRDERS W24X55	COLUMNS W14X109	SQUARE FEET	GALLONS QTY
First Level	0	0	0	0	0
Second Level	0	0	0	0	0
Third Level	12785	57477	1418	71680	478
Fourth Level	12785	57477	1418	71680	478
Fifth Level	12785	57477	1418	71680	478
Sixth Level	0	0	0	0	0
TOTAL	38355	172431	4254	215040	1434

APPROXIMATE AMOUNT OF DAMAGES						
AREA (APPROXIMATE.)	COMMENTS					
3700 SF	LOCATED ON LEVELS 3,4&5					
65 LF	THE TOTAL INCLUDES THE AMOUNT OF THE 5 PARKING LEVELS					
1135 LF	LOCATED ON THE 6TH FLOOR					
250LF	THE TOTAL INCLUDES THE AMOUNT OF THE 5 PARKING LEVELS					
592 SF	LOCATED ON THE 6TH FLOOR					
	AREA (APPROXIMATE.) 3700 SF 65 LF 1135 LF 250LF					

SUGGESTED LIGHTING SYSTEMS



Product Features

High quality lighting meets long life and controllability with the Evolve™ LED Garage Light, EG2R. This fixture features an advanced LED optic specifically designed for applications such as parking decks with low mounting heights to provide high uniformity and excellent vertical light distribution with reduced glare, illuminating your parking area with effective

Features include programmable motion sensing, step dimming and daylight harvesting. GE's optical approach with reflective optics and prismatic lens provides a low-glare solution ideal for low mounting height garage applications. Additionally, up-lighting is a standard photometric feature in the EG2R, providing a driver-friendly appearance, and eliminating the "cave-effect" that often occurs without up-light.

The Evolve LED Garage Light significantly reduces energy and maintenance expenses over the life of the system with a rated life of L70, 100,000 hrs and is also RoHS compliant, giving you a lead and mercury free lighting solution.

 Garage, warehouse, walkway and stairway lighting. Die-cast aluminum heat sink to maximize heat transfer for electrical components and provide

long LED life. LED & Optical Assembly Evolve™ light engine consisting of reflective

technology designed to optimize application efficiency and produce a low-glare lighting solution.

Utilizes high brightness LEDs, 70 CRI typical at 4000K Lumen Maintenance

Projected L70(10K) > 100,000 at Ta 25C per IES TM-21.

 UL 8750 LED equipment in Lighting Products. IP65 rated optical enclosure per ANSI C136.25-2009.
Vibration rating at 1G (min) on 2 axis, per ANSI C136.31-2010.

• Driver Rated Life >=100,000 hrs for fixture max ambient at or below 40°C. Temperature rated at -40° to 50°C ambient. • Title 24 compliant with occupancy sensor.

H-Motion Sensing Option:

Product Dimensions

 Recommended for lower mounting heights between 8-15 ft, this sensor provides excellent pedestrian coverage of greater than 2x the mounting height.

In a garage application, 360° of coverage is achievable, allowing the sensor detection to closely match the lighting distribution of a typical garage.

Comes standard with 50% dimmed light output with no occupancy, and full

power at occupancy.

• Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.

Garage with Motion Sensor

No major dimensional differences between SKUs with motion sensor and without

* Standard options may be reprogrammed in the field. Contact manufacturer for reprogramming instruction

DLC Listed

 120-277 volt. System power factor is >90% and THD <20% Class "A" Sound rating.EMI: Title 47 CFR 15 Class A.

minimum 2.0 mil. thickness.

• Standard colors: Gray & White.

RAL and custom colors available

 Integral surge protection exceeds ANSI C136,2-2015
 "Basic" (6kV/3kA - 120 Events). Dimming:
 Wired 0-10V continuous dimming. Order with "D" Option. Optional standalone motion sensor dimming.

Available with seven different mounting options

Corrosion resistant polyester powder painted,

providing a versatile product to meet almost any field - Mounting options with wet location rating: 04, 05, 06,

- Mounting options with damp location rating: 01, 02.

REGISTER NO. 0 6 3 - 0 3 1 - 6 3 9 - 0 2

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ADDRESS

OWNER

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

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REV. DATE DESCRIPTION BY CHK'D

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WITHOUT THE CONSENT OF THE ENGINEER, THE PERSON WHO IS DOING WILL BE INDEBTED TO THE ENGINEER FOR HIS FULL
C O M M I S S I O N . CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY

IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED

DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

CERTIFICATION

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KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND INGENIUM PROFESSIONAL GROUP PSC

OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENC

Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891

654 Ave. Muñoz Rivera -Suite 1838 - 654 Email: info@ingenium.group

PAINT TECHNICAL SPECIFICATIONS: PAINT FOR ADA LINES & OTHERS



CLEANUP INFORMATION Clean spills, spatters & tools with compliant cleanup solvent. After cleaning, flush spray equipment with compilant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents DANGER: Rags, steel wool, other waste soaked with this product, and sanding residue may spontaneously catch fire if improperly discarded immediately place rags, steel wool other waste soaked with this product, and sanding residue in a sealed, water-filled, metal ontainer. Dispose of in accordance with local HOTW 07/01/2021 B54WZ0101 36 406 HOTW 07/01/2021 B54WZ0113 16 396 HOTW 07/01/2021 B54TZ0104 22 408

PAINT TECHNICAL SPECIFICATIONS:

125.05

Industrial Enamel V.O.C.

INDUSTRIAL ENAMEL VOC is a medium oil, alkyd, interior-exterior, all-purpose enamel meeting the US National AIM Rule VOC limit criteria for Industrial Maintenance coatings. Designed for new construction and maintenance application uses.

CARB SCM 2007

CARB SCM

Pure White, Deep, Filter

Ultradeep, Safety Brush

Colors and Black Roller Cover

Alkyd Gloss Enamel

B54-Z100 Series

CHARACTERISTICS

For use on properly prepared Steel, Concrete, Wood, Plaster, Previously

Low temperature application 40°F
 Suitable for use in USDA inspected facilities

Interior-exterior • New construction • Railings-

frames • Machinery • Structural Steel • Steel doors • Steel supports • Equipment • Repaints • Storage tanks • Bar joists • Pipe marking • Fire

painted, Primed Galvanized & Aluminum,

Interior-Exterior applications

Easy application properties

High Gloss coating

escapes · Conveyors

GIRDER, COLUMN AND STEEL BEAM PAINT

COMPLIANCE As of 07/01/2021, Complies wi

At least 5°F above dew point

The following is a guide. Changes in pressures and tip sizes may be needed for proper apray characterist livinys purge spriny equipment before use with liste

reduces. Any reduction must be compatible with the existing environmental and application conditions.

Relative humidity:

40'F / 4.4'C

100 mesh

Natural Bristle

synthetic cover

85% maximum

Ordering Number Logic

Evolve™ LED Garage Light (EG2R)

Photometrics

Evolve™ LED Garage Light (EG2R)

Pro-Park Traffic Marking Paint is a OTC premium quality waterborne acrylic alkyd OTC Phase II traffic marking paint. It has excellent chemical and dirt pickup resistance. Pro-Park delivers the performance expected by the most discerning contractor, property manager or national retail chain. Apartments Communities, Shopping Centers Schools and Universities, Municipalities Property Managers, Asphalt Seal Contractors Pavement Stripers The coating may be made into reflective paint by dropping on glass beads while the

Waterborne Traffic Marking Paint

123.12

Pro-Park™

B97 Series

Spreading Rate

per coat:

paint is still wet. Can be used with stencils (Available through Sherwin-Williams) for street and parking lot Directional Arrows, STOP, YIELD, Numbers Pedestrian Crossing and Handicap Markings Color: Blue, Red, Black

Approximately

330 lineal feet of

standard 4 inch

stripe per gallon

COMPLIANCE CARB CARB SCM 2007 CARB SCM 2020 LEED® v4 & v4.1 Emissions LEED® v4 & v4.1 VOC MIR-Manufacturer Inventor Yes Blue **APPLICATION** Temperature: 110°F / 43°C

air, surface, and At least 5°F above dew point Relative humidity: 85% maximum The following is a guide. Changes in pressures and tip White. Yellow. sizes may be needed for proper spray characteristics reducer. Any reduction must be compatible with the

SHERWIN WILLIAMS.

Pro-Park Traffic Marking

Paint @ 330 lineal feet of

standard 4 inch stripe per

gallon

B97WD2434

B97YD2467

B97RD2012

B97LD2022

B97BD2021

Cured Asphalt, Concrete, and Brick:

Yellow

Firelane Red

RECOMMENDED SYSTEMS

SIGNATURE

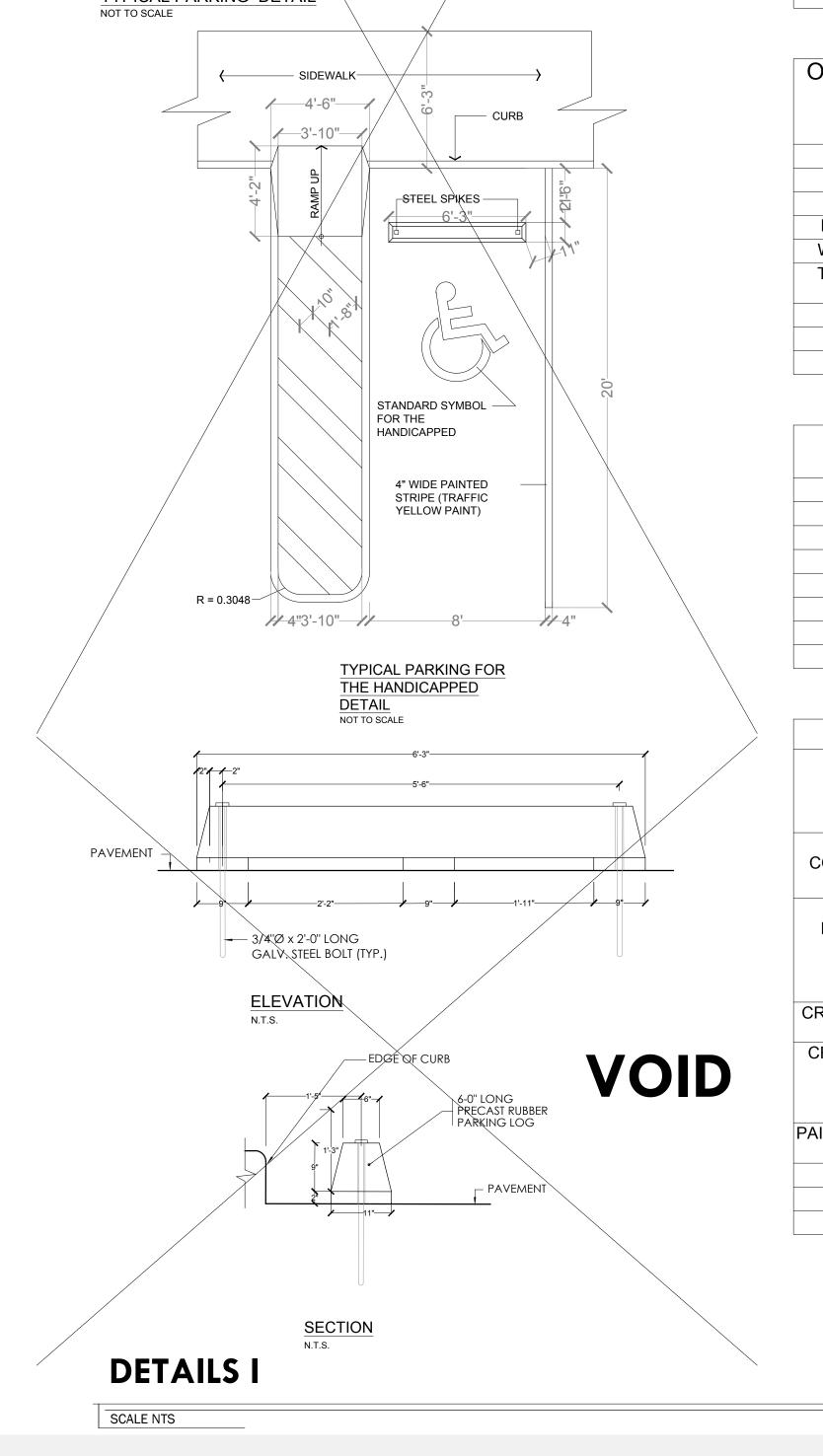
Drawn by: INGENIUM PROFESSIONAL GROUP, PSC Revised by: Eng. W. Meléndez Rivas, #16383

Sep 16, 2024

DETAILS I

DRAWING NO. C-501

PAGE: 28/30



A-1 0.35" X 1.75" CONCRETE WICHOR & GUP WASHER (§ 18"(157mm) C.C. (STAGGERED 0.125' [3mm] ---AT THERMAL MAXIMUM. SEALANT (BY OTHERS) 0.751 [19mm] SEALANT (BY OTHERS) SECONDARY WATER CONTAINMENT MIFABRIC REINFORCED RUBBER GUTTER EPOXY BEDDING

JOINTS BETWEEN BUILDINGS

Joints will be replaced and concrete will be repaired where required following best construction practices.

In cases where the separation between structures in the joint is less than 3 ", it must be corrected as follows:

Remove and replace the missing covers or existing gasket material. You should mark as a guide the cut to be made on the most convenient side until you achieve said separation of 3 ".

Use whatever equipment you think is necessary to make the cut. Such as a saw or polisher with a carbide or diamond disc for a clean cut in concrete and reinforcement

If any reinforcement is exposed, it must be protected by applying epoxy cement-steel. On the other hand, if the reinforcement is oxidized, it must be removed using a metal wire brush until the oxide is eliminated, apply MAPEFER 1K or similar and then the epoxy-cement-steel and, if required, apply a mortar as plastering; for the mortar see the PAINTING section. Install the joint cover according to the manufacturer, always one end is fixed and the other is free for movement, in compliance with all codes and regulations in force to date.

JO = 3% Height in inches measured from first floor level as a starting point. JO varies according to the height of the mezzanine where the joint will be worked. SP = J0 + 6" BW = 6"

SL = BW + JO + 3"

					1000	JAIN	ONS			
	PROPORTIONS BY VOLUME (cementitious materials)									
MORTAR	TYPE			Mortar cement		Masonry cement		2.70	Hydrated lime ^c or lime	Aggregate ratio (measured in damp,
		blended cement	М	s	N	М	5	N	putty	loose conditions)
	W	1	÷	-	-	_	F	-	1/4	
	5	1	-	-	-	-	-	_	over 1/2	Not less then 2 ¹ / ₄
lime	N	1	-	_	-	_	-	_	over 1/2 to 11/4	
	0	1	-	-	-	-	-	-	over 1 1/2 to 2 1/2	
	M	1	3	_	7	-	-	9		and not more than 3 times the sum of separate volumes of lime, if
	W	÷	1	-	=	-	=	-		
Mortar	5	1/2	-	-	ì	-	-	-	0	
cement	5	-	-	1	4	-	-	-		
	N	-	=	_	Ť	=	-	=		
	0	-	-	-	1	-	-	-		used, and cement
	7/6	7	9	-	-	-	-	7		
	M	-	\rightarrow	-	-	1	-	-	-	
Masonry	5	7/2	=	-	-	-	-	1		
cement	5	-	4	_	=	_	1	=		
	N	-	_	_	-	-	-	1		
	0	-	-	-	_	_	-	7		

c. Hydrated lime conforming to the requirements of ASTM C207.

Mortar rement

Lime purty

The plaster mixture must meet the following specification which is part of the PRBC 2018 (Puerto Rico Building Code 2018). The reason for the calculation by volume is based on the Puerto Rico Building Code 2018 and its amendments, the

Ebende Of

b. Two a rientraining materials shall not be combined in mortar.

y drated lime

nd dame and

40 pounds

80 pounds of dry

calculation of the plastering mix considers, not only the cement, water and sand by volume but also the lime. Table 1 is from the PRBC 2018 and is the correct way for an engineer to calculate this and not by square footage without considering the type of proportion of each material to be purchased. Example 1: 4: 1.5: 2 means 1 cubic feet of cement, 4 cubic feet of sand, 1.5 cubic feet of lime, and no more than 2 cubic feet of water. It is recommended to use acrylic fortifier instead of the water portion depending on the product, for plaster exposed to the elements, since it creates a greater adherence and it does not sulfate when exposed to rain or in places with internal leaks. The properties of acrylic fortifier improve the performance of plaster.

A-3 AUTO GARD

Availability:

7475 (47MJB)

Integrally Textured Aliphatic Urethane

Description: 7475 series (Hempel 47MJB) is an integrally textured, single-component, aliphatic urethane. As a weather protective topcoat the Neogard Auto-Gard T vehicular traffic-bearing waterproofing Recommended use:

Colors and packaging:

7475-002 (47MJB16650) 7475-003 (47MJB23820) 7475-041 (47MJB16680) 7475-058 (47MJB61300)

5-gallon pails Charcoal Gray

Dark Maple Some standard colors and/or packaging may have extended lead times and/or minimum quantities. Contact Neogard for additional colors.

Available in North America. Not included in Group Assortment; other regions must confirm.

Physical constants:

2,500 psi ASTM D412 Tensile strength 250% <20% ASTM D412 Elongation ASTM D412 Permanent set Tear resistance 400 pli ASTM D1004 ASTM D471 Water resistance 1%, 7 days 2.5 English Perm ASTM E96 MVT at 20 mils ASTM D4060 Taber abrasion 10 mg/1,000 CS-17 ASTM D2240 ASTM D4541 Adhesion >400 psi ASTM D1475 Weight/gallon 9.74 lbs/gal 85.9% at 12 hours ASTM D4209 Weight solids Volume solids Calculated 81.2%

EPA Method 24 163.4 g/L Viscosity ASTM D2196 Flash point 110°F/43°C By Comparison Shelf life 1 year SRI value: 7470-011 ASTM E1980-01

8-12 hours, 72 hours for Cure to recoat at 75°F/23°C, 50% relative humidity vehicular traffic The above tested results are typical values. Individual lots may vary up to 10% from the typical value. Further

technical information can be found at www.neogard.com

Application details:

VOC

Application method: Squeegee or roller (do not dip and roll from container) Thinner (max.vol.): Hempel's Thinner 08080 (xylene) (10%) Mix for 3-5 minutes before applying; Jiffy Mixer paddle recommended Cleaning of tools: Hempel's Thinner 08080 (xylene)

Handle with care. Use with adequate ventilation. Before and during use, observe all safety labels Safety: on packaging and paint containers, consult Neogard Safety Data Sheets and follow all local or

national safety regulations.

Application conditions: Substrate temperature must be between 40°F/4°C and 110°F/32°C.

According to Neogard Guide Specifications. Preceding coat:

Accelerators and additives:

7986 (994JB00000): Odor mask, synthetic vanilla scent. 7923 (9505300000): Accelerator for single component urethanes. 7931 (9905500000): Fast accelerator for use in low humidity environments.

Store in a cool area to ensure full shelf life. Recommended temperature: 75°F/23°C. Storage temperature: Not recommended for constant immersion. Do not apply over asphaltic compounds. For on-grade

applications, substrates constructed over unvented metal decks or between-slab applications, contact Neogard Technical Service.

7475 is for professional use only.

Hempel (USA) – 47MJB

available at www.neogard.com (the "Additional Documents")

FLOOR AREA

This Product Data Sheet ("PDS") relates to the supplied product ("Product") and is subject to update from time-to-lime. Accordingly, the buyer/applicator should refer to the PDS current as of the time of delivery. In addition to the PDS, the buyer/applicator may receive some or all of the specifications, statements and/or guidelines listed below or

Document Description

Guide Specification

Application Manual Other Technical Support Information (i.e. summary application tables, troubleshooting guides, maintenance manuals, chemical resistance charts and other

In the event of a conflict between this PDS and the Additional Documents, the conflict shall be resolved in accordance with the order of priority set forth above. In addition, the buyer/applicator should refer to the relevant Safety Data Sheet current as of the time of delivery and available at www.neogard.com. Buyer/applicator is responsible for determining the suitability of the intended use of the Product, and Neogard disclaims all responsibility for any use, handling and storage of the Product that is not in accordance with the requirements set forth in the relevant PDS and the Additional Documents. The terms and provisions hereof apply to this PDS, the Additional Documents and any other documents supplied by Neogard in respect of the Product. The Product is supplied and all technical assistance is given subject to the General Conditions of Sale of Hempel Products and/or Services available at www.hempel.com. NEOGARD MAKES NO OTHER WARRANTY THAT EXTENDS BEYOND THE WARRANTY REFERENCED THEREIN INCLUDING, WITHOUT LIMITATION, ANY IMPLIED WARRANTIES OR CONDITIONS OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. NEOGARD WILL NOT BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES FOR BREACH OF ANY EXPRESS OR IMPLIED WARRANTY OR CONDITION, OR THAT IN ANY WAY ARISE IN RELATION TO THE PRODUCT.

VEHICULAR TRAFFIC-BEARING

WATERPROOFING

105,512 SQFT. aprox.

6

Neogard®, a part of Hempel 2728 Empire Central - Dallas, Texas 75235 - Phone (214) 353-1600 - Fax (214) 357-7532 - www.neogard.com

A-4 AC-3434

INDUSTRIAL ANTICORROSIVE IS AN ALKYD-OIL ENAMEL WITH GOOD FLEXIBILITY, DURABILITY, WEATHERABILITY, AND MOISTURE RESISTANCE, IT IS AN ENAMEL OF VERY GOOD FINISH AND CHALK FORMING RESISTANCE, WORKS AS A BASE AND QUALITY ANTICORROSIVE PAINT FOR METALS. CONTAINS PIGMENTS THAT ELIMINATE RUST IN METALS. FOR INDOOR AND OUTDOOR USE. IT ADHERES STRONGLY TO THE CLEAN METAL AND TO THE FINAL COAT.

 HIGHLY DURABLE FOR INDOOR AND OUTDOOR USE EXCELLENT ADHESION HIGH SOLIDS CONCENTRATION

 FAST DRYING TIME DOES NOT PEEL OR BECOMES FLAKY DOES NOT CONTAIN HEAVY METALS OR LEAD DURABLE AND STRONG GOOD COLOR RETENTION AND COVERAGE DOES NOT BECOME YELLOWISH

EASY TO CLEAN SURFACE PREPARATION:

REMOVES ALL LOOSE MILL SCALE, LOOSE RUST, LOOSE PAINT, AND OTHER LOOSE DETRIMENTAL FOREIGN MATTER BY POWER WIRE BRUSHING, POWER SANDING, POWER GRINDING, POWER TOOL CHIPPING, AND POWER TOOL DESCALING.

PREVIOUSLY PAINTED SURFACES: CLEAN SURFACE OF ALL LOOSE, PEELING PAINT AND FOREIGN MATERIAL; SPOT PRIME BARE METAL AREAS. IF THE PAINT IS OLD, PEELING OR BADLY WEATHERED, HAND TOOL CLEAN (SSPC-SP2) OR POWER TOOL CLEAN (SSPC-SP3). GLOSSY OR SMOOTH SURFACES SHOULD BE SANDED. IF POOR ADHESION OF EXISTING COATINGS IS NOTED OR COATING IS LOOSED BY BLISTERING, RUPTURE OR SCRATCHING, ADDITIONAL ABRASION OR

REMOVAL METHODS MAY BE NECESSARY TO PROVIDE A CLEAN AND SOUND SURFACE.

PRIMER, APPLY 1 COAT: PRIMER PAINT, APPLY 2 COATS: INDUSTRIAL ANTICORROSIVETM

PROPERLY INSPECTED AND FIXED. CLEANED

UNCAPPED 4. SEALED PROPERLY

5. IF THE DRAINAGE PIPE DOES NOT HAVE A COVER, IT MUST BE PROVIDED WITH ONE OF THE EXACT DIAMETER.

TRAFFIC LINES PAINT REQUIREMENT:

EXCELLENT OUTDOOR DURABILITY

HIGH RESISTANCE TO FOULING HIGH RESISTANCE TO WEAR

4. FAST TOUCH-UP TIME.

5. COMPLIES WITH FEDERAL SPECIFICATION TT-B-1352D: 1. TYPE 1 GRADE A DROP ON (MANUAL APPLICATION)

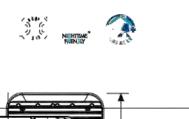
2. TYPE 1 GRADE B PRE-MIX (PREMIXED)

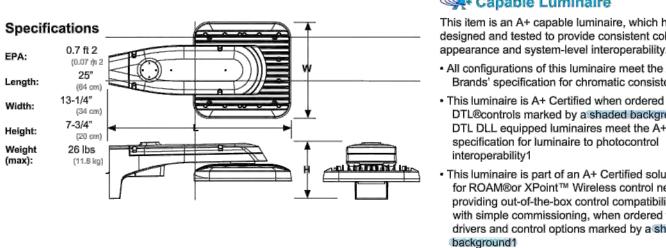
A-8

CRACKS WITH SEPARATION LESS THAN 1/4 ": THEY SHOULD BE CLEANED, DECONTAMINATED OF CHEMICAL RESIDUES, DUST AND / OR OILS. THEY WILL BE CORRECTED WITH PRESSURE ELASTOMERIC INJECTION. THE SURFACE MUST BE CLEAN AND CLOUD.

CONTRACTOR MUST REPLACE ONE EXISTING STRUCTURAL STEEL BEAM. APPROXIMATELY 12 FT LONG. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL CERTIFIED BY A STRUCTURAL SPECIALIST

KAX LED Size 1 LED Area Luminaire





****** Capable Luminaire This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

· All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency This luminaire is A+ Certified when ordered with DTL®controls marked by a shaded background. DTL DLL equipped luminaires meet the A+

interoperability1 This luminaire is part of an A+ Certified solution for ROAM®or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded

To learn more about A+, visit www.acuitybrands.com/aplus

1. See ordering tree for details. 2. A+ Certified Solutions for ROAM require the order

EXAMPLE: KAX1 LED P4 40K R3 MVOLT SPA DDBXD

of one ROAM node per luminaire. Sold Separately: Link to Roam: Link to DTL DLL A+ Capable options indicated

Ordering Information KAX1 LED Color temperature Distribution KAX1 LED 30K 3000 K R3 Type 3 Shipped included 40K 4000 K R4 Type 4 SPA Square pole mounting RPA Round pole mounting (includes round and square mounting 50K 5000 K R5 Type 5

Other options Shipped installed Shipped installed DDBXD Dark bronze PER NEMA twist-lock receptacle only (Controls order separate) 4,5,6 HS House-side shield 10 SF Single fuse (120, 277, 347V) 2 DNAXD Natural aluminum PER5 Five-wire receptacle only (Controls order separate) 4,5,6 PER7 Seven-wire receptacle only (Controls order separate) 4,5,6 DF Double fuse (208, 240, 480V) 3 DWHXD White DDBTXD Textured dark bronze PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient TILT Tilt arm sensor enabled at 5fc 7,8 Shipped separately DBLBXD Textured black PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient BS Bird spikes 10 DNATXD Textured natural aluminum EGS External glare shield 10 sensor enabled at 5fc 7,8 DWHGXDTextured white PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc 7,8

Field adjustable output 9 PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc 7,8

LITHENIA LEGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com © 2011-2018 Acuity Brands Lighting, Inc. All rights reserved.

Ordering Information Cont.

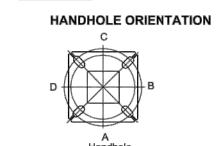
Accessories DLL127F 1.5 JU Photocell - SSL twist-lock (120-2 DLL347F 1.5 CUL JPhotocell - SSL twist-lock (347V) 11 4 See PER Table on page 3. DLL480F 1.5 CUL JPhotocell - SSL twist-lock (480V) 1 OSHORT SBK U Shorting cap 11 KMA DDBXD U Mast arm mounting bracket adaptor (specify finish) 12 KAX1HS P1/P2 U House-side shield (P1, P2) KAX1HS P3/P4 U House-side shield (P3, P4) KAXBS U Bird spikes KAX1EGS U External glare shield RK1 KAX1WBA (FINISH) U Wall mount bracket

NOTES 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz) 2 Must specify 120, 277, or 347V when ordering SF option. 13 Must specify 208, 240, or 480V when ordering DF option. 5 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories, Shorting Cap included 6 If ROAM node required, it must be ordered and shipped as a separate line from Acuity Brands Controls. Shorting Cap included 7 Reference Motion Sensor Table on page 3. 8 Reference PER Table on page 3 to see functionality 9 Not available with other controls option.

10 Also available as a separate accessory; see Accessories information.

11 Requires luminaire to be specified with PER option. See PER Table on page 3.

12 For use with 2-3/8" mast arm (not included).



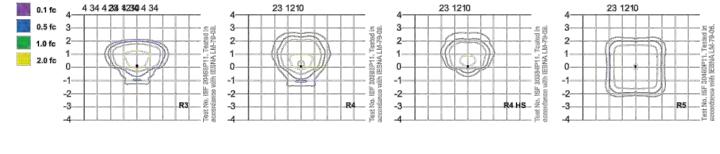
For more control options, visit DTL and ROAM online

Pole drilling nomenclature: # of heads at degree from handhole (default side A) 2 @ 280° | 2 @ 90° | 3 @ 120° | 3 @ 90° | Side B & D Side B & C Round pole onlySide B, C, & DSides A, B, C, D Note: Review luminaire spec sheet for specific nomenclature

Template #8 Top of Pole

Tenon Mounting Slipfitter 4" AST35-190AST35-290AST35-290AST35-320AST35-390AST35-490 *3@120° is Round Pole only.

hotometric Diagrams To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's KAX1 Area Light homepage.



LITHENIA LIGHTING.

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Rev. 03/28/18

ADDRESS

268 AVE. MUÑOZ RIVERA SAN JUAN P.R.

OWNER

PODER JUDICIAL

REGISTER NO.

0 6 3 - 0 3 1 - 6 3 9 - 0 2

REVISIONS

REV. DATE DESCRIPTION BY CHK'D

IMPORTANT NOTES TO THE CONTRACTOR:

NGINEER ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE

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654 Ave. Muñoz Rivera -Suite 1838 - 654 Plaza, San Juan, PR 00738 Tel. (787) 918-5890 / 5891 Email: info@ingenium.group

SIGNATURE



Plot Scale:

TITLE

Dwg Name: NIVEL 6.dwg Drawn by: INGENIUM PROFESSIONAL GROUP.PSC Revised by: Eng. W. Meléndez Rivas, #16383

Sep 16, 2024

DETAILS II

DRAWING NO. C-502

DETAILS II

SCALE NTS

PAGE: 29/30

D-6

TYPICAL STRUCTURAL PHOTO DOCUMENTATION



TYPICAL VIEW

ELEMENTS WITH CORROSION AND PAINT DAMAGE



TYPICAL VIEW

WATER INTRUSION BETWEEN CONCRETE PARAPET AND STEEL



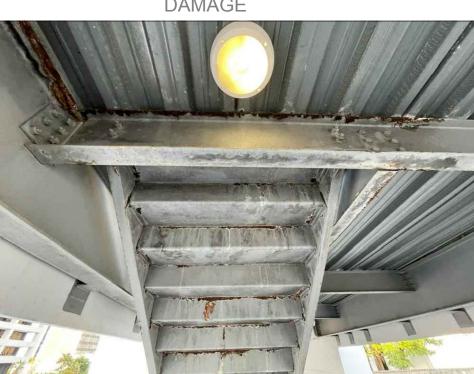
TYPICAL VIEW

ELEMENTS WITH CORROSION AND PAINT DAMAGE



TYPICAL VIEW

ELEMENTS WITH CORROSION AND PAINT DAMAGE



TYPICAL VIEW

ELEMENTS WITH CORROSION AND PAINT DAMAGE

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CONTRACTOR SHALL NOT USE FOR CONSTRUCTION PURPOSES ANY DRAWINGS THAT WERE ADVANCE TO HIM PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL PLANS BEING USED BY CONTRACTOR SHOULD HAVE A LABEL SAYING "FOR CONSTRUCTION ONLY" SIGNED AND SEALED BY THE ENGINEER.

CERTIFICATION

I, WILLIAM MELENDEZ RIVAS, LIC. 16383, CERTIFY THAT I AM THE PROFESSIONAL WHO [MADE, DESIGNED OR PREPARED] THESE PLANS
AND THE COMPLEMENTARY SPECIFICATIONS. I ALSO CERTIFY THAT I
UNDERSTAND THAT SAID PLANS AND SPECIFICATIONS COMPLY WITH OF FACTS THAT HAS BEEN PRODUCED BY IGNORANCE OR NEGLIGENCE EITHER BY ME, MY AGENTS OR EMPLOYEES, OR BY OTHERS WITH MY KNOWLEDGE, MAKES ME RESPONSIBLE FOR ANY JUDICIAL AND DISCIPLINARY ACTION BY THE OGPE.



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SIGNATURE



Drawn by: INGENIUM PROFESSIONAL GROUP,PSC

Revised by: Eng. W. Meléndez Rivas, #16383

TITLE

STRUCTURAL DETAILS

DRAWING NO.

S-100

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STRUCTURAL DETAILS - REPLACEMENT OF EXISTING BEAM